

Modification of Development Consent

Section 4.55 (1A) of the *Environmental Planning and Assessment Act 1979*

As delegate for the Minister for Planning and Public Spaces I approve the modification of the development consent referred to in Schedule 1, subject to the conditions outlined in Schedule 2.



Chris Ritchie
Director
Industry Assessment

Sydney

8 December 2021

File: SSD 7348 MOD 9

SCHEDULE 1

Development Consent

Development Consent:

SSD 7348 granted by the Minister for Planning and Public Spaces on 13 September 2019

For the following:

A Concept Proposal including:

- concept layout of 18 warehouse buildings inclusive of dock offices and ancillary offices providing 556,824 square metres of gross lettable area, built over seven development stages;
- concept layout of development lots, internal roads, drainage, landscaping, noise walls, basins and biodiversity offsets; and
- development controls.

A Stage 1 Development including:

- bulk earthworks across all five stages including retaining walls and noise walls;
- lead in services including but not limited to drainage, power, sewer, water and telecommunications;
- service infrastructure to Precinct 1, including drainage, power, sewer, water and telecommunications;
- construction and operation of three warehouse buildings inclusive of dock offices and ancillary offices in Precinct 1 (1A, 1B and 1C) providing 88,876 square metres of gross lettable area;
- Western North-South Link Road and associated subdivision, basins and drainage;
- estate roads 1, 2 and 8 and eastern part of road 7;
- landscaping of Stage 1, the western boundary, Western North-South Link Road, estate roads 1, 2 and 8 and the eastern part of road 7, detention basins and the amenity lot
- subdivision of Stage 1 lots and road infrastructure including the services (substation) lot;
- stormwater drainage infrastructure for Lots 2A and 2B and all basins;
- temporary works to facilitate construction including but not limited to swales, haul road (construction access), landscaping and basins;
- works including construction of traffic signals at Lenore Drive/Grady Crescent/WNSLR intersection; and

- works within Lot 9 DP1157476 including reconfiguration of car park, relocation of car park access on Lockwood Road, infrastructure, landscaping and all works associated with the WNSLR.

Modification 9

Modification Application:

SSD-7348-MOD-9

Modification to the Oakdale West Estate Concept Plan including:

- changes to layout of Buildings 2A, 2C, and 2D
- increase of the maximum height of Building 2C from 15 m to 22.2 m

Applicant:

Goodman Property Services (Aust) Pty Ltd

Consent Authority:

Minister for Planning and Public Spaces

The Land:

2 Sepia Road, Kemps Creek NSW 2178 (Lot 105 DP 1262310)

19 Emporium Avenue, Kemps Creek NSW 2178 (Lot 107 DP 1262310)

SCHEDULE 2

This consent is modified as follows:

In Schedule 1

- In the Definitions list, delete the definition for Development, and insert the following definitions in alphabetical order:

Development The development described in the EIS and RtS, including construction and operation of 18 warehouse buildings, offices and associated infrastructure, as modified by the conditions of this consent and shown on plans in Appendix 1, Appendix 2, Appendix 3, and as modified by SSD-7348-MOD1, SSD-7348-MOD 2, SSD-7348-MOD 3, SSD-7348-MOD 4, SSD-7348-MOD 5, SSD-7348-MOD-6, SSD-7348-MOD-7, SSD-7348-MOD-8 and SSD-7348-MOD-9.

SSD-7348-MOD 9 The Section 4.55(1A) modification application prepared by Keylan Consulting Pty Ltd, titled 'Oakdale West Industrial Estate SSD 7348 – Modification Application 9', dated 11 November 2021

In Schedule B: Conditions for the Concept Proposal

- Delete Table 2 in Condition B10 and replace with the following:

Table 2: Development Controls

Development Aspect	Control
Minimum building setbacks from:	
• South Link Road	17.15 m
• Western North-South Link Road (now Compass Drive)	20 m
• Local estate roads	7.5 m
• western site boundary	40 m
• southern site boundary	20 m (excluding parking areas)
Road boundary setbacks within the estate	5 m
Site boundary setbacks within the estate	0 m, subject to compliance with fire rating requirements
Height	
• Building 1A	39 m
• Building 2A	18 m
• Building 2B	28 m
• Building 2C	22.2 m

Minimum lot size	5,000 m ²
Minimum frontage	<ul style="list-style-type: none"> • 40 m (excluding cul-de-sacs) • 35 m minimum lot width at the building line
Site coverage	Maximum of 65% (excluding awnings)

3. Delete Condition B11 and replace with the following:

B11. Notwithstanding the controls listed in Table 2 in Condition B10, no warehouse building in the Concept Proposal, except Building 1A in Precinct 1, Buildings 2A, 2B, and 2C in Precinct 2, shall exceed a ridgeline height of 13.7 m, excluding roof mounted mechanical plant and solar panels.

In the Appendices

4. Replace Table 7 in Appendix 1 with new tables as follows:

Table 7: Schedule of Approved Plans – Concept Proposal

Architectural Plans prepared by SBA Architects			
Drawing	Title	Issue	Date
OAK MP 02	Estate Masterplan	D	22 November 2021
OAK MP 03	Western North South Link Road	B	30 July 2020
OAK MP 05	Precinct 1 Plan	F	30 July 2020
OAK MP 06	Precinct Plan	C	24 November 2020
OAK MP 07	Indicative Ultimate Lot Layout	C	2 June 2021
OAK MP 08	Site Analysis Plan	B	30 July 2020
OAK MP 11	Building Staging Plan (Indicative)	B	2 June 2021
OAK MP 12	Signage Precinct 1 Plan	B	30 July 2020
OAK MP 13	Fire Protection Plan	F	25 November 2020

Landscape Plans prepared by Scape Design Landscape Architecture			
Drawing	Title	Issue	Date
L.SK.000	Cover Sheet	B	8/01/21
L.SK.100	Landscape Master Plan – OWE MOD 6	B	8/01/21
L.SK.101	Street Trees & Planting Masterplan	B	8/01/21
L.SK.102	Planting Schedule – OWE MOD 5	B	8/01/21
L.SK.200	Landscape Sections – OWE MOD 5	A	26/10/20
L.SK.00 – 07, 105, 106, 200, 201 and 202	Landscape Drawing Set – OWE Lots 2A, 2C and 2D	-	23/11/21

5. Replace Figure 1 in Appendix 1 with a new figure as follows:

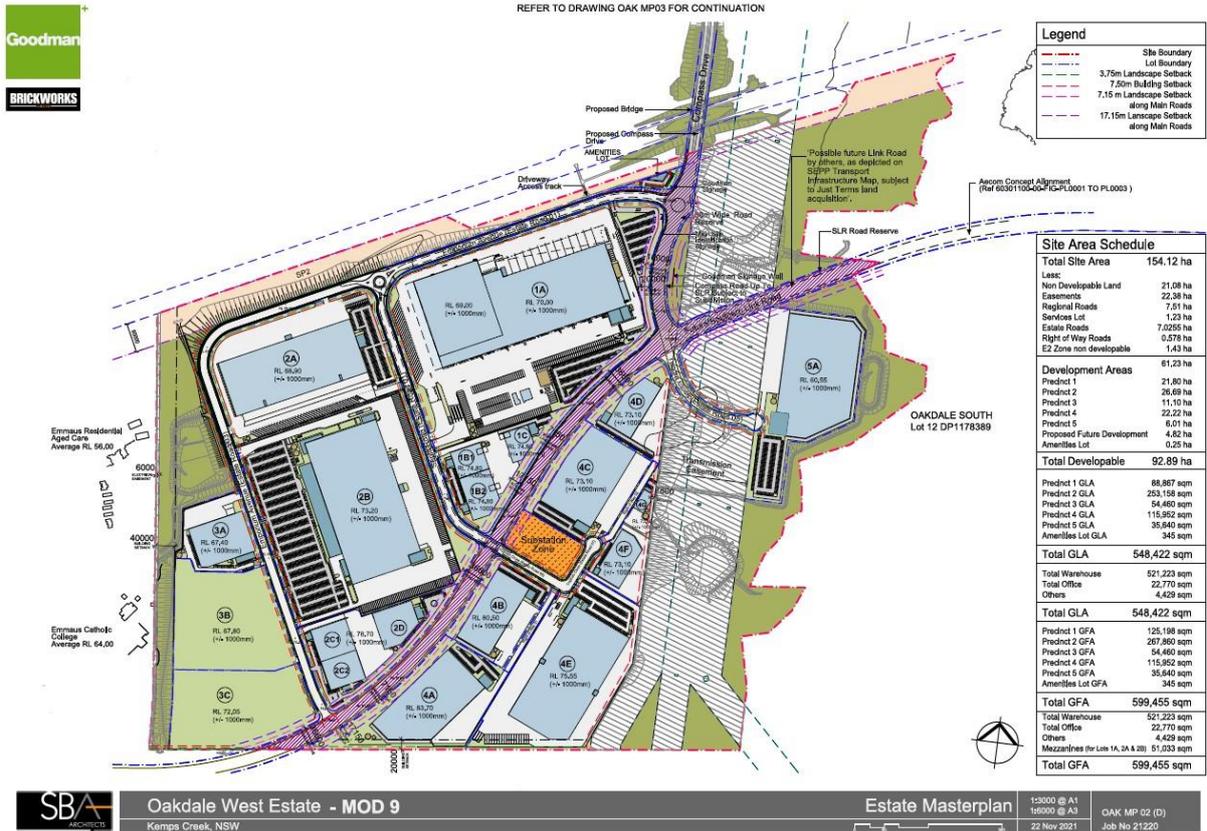


Figure 1: Concept Proposal Layout (MOD 9)