

Modification of Development Consent

Section 4.55(1A) of the *Environmental Planning and Assessment Act 1979*

As delegate for the Minister for Planning and Public Spaces, under delegation executed on 9 March 2020, I approve the modification of the development consent referred to in Schedule 1, subject to the conditions outlined in Schedule 2.



Chris Ritchie
Director
Industry Assessments

Sydney

5 November 2020

File: EF20/26328

SCHEDULE 1

Application Number:	SSD 7348
Applicant:	Goodman Property Services (Aust) Pty Ltd
Consent Authority:	Minister for Planning and Public Spaces
Site:	Lot 1 DP 663937, Lot 2 DP 1215268, Lot 6 DP 229784, Lot 2 DP 84578, Lot 3 DP 85393, Lot 11 DP 1178389 and Lot 9 DP 1157476 2 Aldington Road, Kemp Creek NSW 2178 57-87 Lockwood Road, Erskine Park NSW 2759
Development:	A Concept Proposal including: <ul style="list-style-type: none">• concept layout of 22 warehouse buildings inclusive of dock offices and ancillary offices providing 476,000 square metres of gross lettable area, built over five development stages;• concept layout of development lots, internal roads, drainage, landscaping, noise walls, basins and biodiversity offsets; and• development controls A Stage 1 Development including: <ul style="list-style-type: none">• bulk earthworks across all five stages including retaining walls and noise walls;• lead in services including but not limited to drainage, power, sewer, water and telecommunications;• service infrastructure to Precinct 1, including drainage, power, sewer, water and telecommunications;• construction and operation of three warehouse buildings inclusive of dock offices and ancillary offices in Precinct 1 (1A, 1B and 1C) providing 118,000 square metres of gross lettable area;

- Western North-South Link Road and associated subdivision, basins and drainage;
- estate roads 1, 2 and 6 and eastern part of road 7;
- landscaping of Stage 1, the western boundary, Western North-South Link Road, estate roads 1, 2 and 6 and the eastern part of road 7, detention basins and the amenity lot
- subdivision of Stage 1 lots and road infrastructure including the services (substation) lot;
- stormwater drainage infrastructure for Lots 2A and 2B and all basins;
- temporary works to facilitate construction including but not limited to swales, haul road (construction access), landscaping and basins; and
- works including construction of traffic signals at Lenore Drive/Grady Crescent/WNSLR intersection.

Date of Original Consent: 13 September 2019

Modification: SSD 7348 MOD 5 – Reduction in building setback to accommodate the widened SLR road reserve, amendments to Precinct 1A layout and car parking spaces, increase in quantities of dangerous goods to be stored in Building 1A, setting up an alternative biodiversity offset site, and extension to required completion date for the noise barriers along the western boundary.

SCHEDULE 2

This consent is modified as follows:

In Definitions

1. Delete definition of development and replace with:

Development	The development described in the EIS and RtS, including construction and operation of 22 warehouse buildings, offices and associated infrastructure, as modified by the conditions of this consent and shown on plans in Appendix 1, Appendix 2 and Appendix 3 and as modified by SSD 7348 MOD1, SSD 7348 MOD 2, SSD 7348 MOD 3, SSD 7348 MOD 4, and SSD 7348 MOD 5.
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2. Insert the following definition in alphabetical order:

SSD 7348 MOD 5	The section 4.55(1A) modification application prepared by Urbis, titled Oakdale West Estate SSD 7348, Section 4.55(1A) Modification No. 5 Environmental Assessment Report, dated 23 July 2020.
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In Schedule B

3. Delete Table 2 in Condition B10 and replace with new Table 2 as follows:

Table 2: Development Controls

Development Aspect	Control
Minimum building setback from:	
• Southern Link Road	17.15 m
• Western North-South Link Road	20 m
• local estate roads	7.5 m
• western site boundary	40 m
• southern site boundary	20 m (excluding parking areas)
Rear boundary setbacks within the estate	5 m

Development Aspect	Control
Side boundary setbacks within the estate	0 m, subject to compliance with fire rating requirements
Height	15 m
– Building 1A	39 m
– Building 2B	28 m
Minimum lot size	5,000 m ²
Minimum frontage	40 m (excluding cul-de-sacs) 35 m minimum lot width at the building line
Site coverage	Maximum of 65 per cent (excluding awnings)

In Schedule D

4. Delete Condition D69(b) and replace with the following:
D69 The Applicant must ensure:
(b) parking for Stage 1 is provided in accordance with the EA and RtS for MOD 5;
5. Delete Condition D75A and replace with the following:
D75A The Applicant must install the noise barriers located on the western boundary, as shown on **Figure 6** in **Appendix 5**, to the satisfaction of the Planning Secretary. The noise barriers must be completed no later than 30 November 2020, unless otherwise agreed by the Planning Secretary.
6. Delete Condition D75C.
7. Delete Condition D93 and replace with the following:
D93 Within 12 months of the date of this development consent, or otherwise agreed by the Planning Secretary, the Applicant must:
(a) offset 0.42 ha of vegetation lost in the Erskine Park Biodiversity Corridor as a result of the WNSLR by carrying out planting within the areas shown in Figure 9 in Appendix 6 at Lot 10, DP 1157491; and
(b) plant the area shown in **Figure 9** in **Appendix 6** with species similar to those identified for zone 4a, on the south-eastern side of Ropes Creek, in the Biodiversity Management Plan Erskine Park Employment Area (HLA-Envirosciences, 2 May 2006).
8. Delete Table 6 in Condition D109 and replace with new Table 6 as follows:

Table 6: Maximum storage quantities of dangerous goods

Class	Description	Packing Group	Quantity (kg)
1.4	Explosives	n/a	20,000
2.1	Flammable gas (LPG)	n/a	4125 (7,500 L)
2.1	Flammable gas (LPG) – kitchen	n/a	247.5 (450 L)
2.1	Flammable gas (aerosols)	n/a	70,000
2.2	Non-flammable, non-toxic gas (aerosols)	n/a	25,000
3	Flammable liquids	II & III	300,000
4.1	Flammable solids	III	24,000
5.1	Oxidising agents	III	25,000

Class	Description	Packing Group	Quantity (kg)
6.1	Toxic substances	III	45,000
8	Corrosive substances	II & III	60,000
9	Miscellaneous Dangerous Goods	III	105,000

9. Insert new Condition D109B immediately after Condition D109A as follows:

D109B The Applicant must not store more than 1.1 million kilograms of combustible liquid commodities at warehouse Building 1A.

In Appendix 1

10. Delete Table 6 and replace with Table 7 as follows:

Table 7: Schedule of Approved Plans – Concept Proposal

Architectural Plans prepared by SBA Architects			
Drawing	Title	Issue	Date
OAK MP 02	Estate Master Plan	C	30 July 2020
OAK MP 03	Western North South Link Road	B	30 July 2020
OAK MP 05	Precinct 1 Plan	F	30 July 2020
OAK MP 06	Precinct Plan	B	30 July 2020
OAK MP 08	Site Analysis Plan	B	30 July 2020
OAK MP 07	Indicative Ultimate Lot Layout	B	30 July 2020
OAK MP 12	Signage Precinct 1 Plan	B	30 July 2020
OAK MP 13	Fire Protection Plan	B	30 July 2020
OAK MP 14	Biodiversity Management Plan	B	14 July 2020

Landscape Plans prepared by Scape Design Landscape Architecture			
Drawing	Title	Revision	Date
L.SK.000	Cover Sheet	F	20/7/20
L.SK.100	Landscape Master Plan – OWE MOD 5	G	20/7/20
L.SK.101	Street Trees & Planting Masterplan	F	20/7/20
L.SK.102	Planting Schedule – OWE MOD 5	F	20/7/20
L.SK.200	Landscape Sections – OWE MOD 5	B	20/7/20

Civil Plans prepared by AT&L			
Drawing	Title	Revision	Date
15-272-C0000	Cover Sheet	A5	24-07-19
15-272-C0001	General Arrangement Master Plan	A7	19-02-20
15-272-C0002	Existing Site Plan	A6	24-07-19
15-272-C0003	Precinct Plan	A5	20-03-20
15-272-C0006	Cut/Fill Plan	A5	24-07-19
15-272-C0007	Stormwater Drainage Catchment Plan (Pre-Developed)	A5	24-07-19
15-272-C0008	Stormwater Drainage Catchment Plan (Developed)	A5	24-07-19
15-272-C0009	Erosion and Sediment Control Master Plan	A4	24-07-19
15-272-C0010	Typical Sections Sheet 1	A6	21-08-19
15-272-C0011	Typical Sections Sheet 2	A5	24-07-19
15-272-C0012	Typical Sections Sheet 3	A6	20-03-20
15-272-C0013	Typical Sections Sheet 4	A4	24-07-19
15-272-C1003	Precinct General Arrangement Plan	A15	20-07-20
15-272-C1004	Typical Site Sections Sheet 1 of 6	A11	20-07-20
15-272-C1005	Typical Site Sections Sheet 2 of 6	A10	20-07-20

In Appendix 2

11. Insert the following plans immediately after Table 8:

Table 8A: Schedule of Approved Plans – Stage 1 Development

Architectural Plans prepared by SBA Architects			
Drawing	Title	Issue	Date
OAK-1A-DA-10	Proposed Industrial Facility – Building 1A Site Plan	E	29 th July 2020
OAK-1A-DA-11	Proposed Industrial Facility – Building 1A Roof Plan	A	13 th July 2020
OAK-1A-DA-18	Proposed Industrial Facility – Building 1A Warehouse Plan	B	28 th July 2020
OAK-1A-DA-18A	Proposed Industrial Facility – Building 1A Mezzanine Plan – 1	B	28 th July 2020
OAK-1A-DA-18B	Proposed Industrial Facility – Building 1A Mezzanine Plan – 2	B	28 th July 2020
OAK-1A-DA-18C	Proposed Industrial Facility – Building 1A Mezzanine Plan – 3	B	28 th July 2020
OAK-1A-DA-18D	Proposed Industrial Facility – Building 1A Mezzanine Plan – 4	B	28 th July 2020
OAK-1A-DA-18E	Proposed Industrial Facility – Building 1A Mezzanine Plan – 5	B	28 th July 2020
OAK-1A-DA-18F	Proposed Industrial Facility – Building 1A Mezzanine Plan – 6	B	28 th July 2020
OAK-1A-DA-25	Proposed Industrial Facility – Building 1A Energy Complex – 1	A	13 th July 2020
OAK-1A-DA-28	Proposed Industrial Facility – Building 1A Stage 2 – Site Plan	E	29 th July 2020

Landscape Plans prepared by Scape Design Landscape Architecture			
Drawing	Title	Revision	Date
L.SK.00	Cover Sheet	S	17/7/20
L.SK.01	Landscape Master Plan	P	17/7/20
L.SK.02	Planting Plan	M	17/7/20
L.SK.03	Planting Schedule	M	8/7/20
L.SK.04	Character & Materials	N	8/7/20
L.SK.100	Landscape – Plan – Sheet 1	N	17/7/20
L.SK.101	Landscape – Plan – Sheet 2	N	17/7/20
L.SK.102	Landscape – Plan – Sheet 3	O	17/7/20
L.SK.103	Landscape – Plan – Sheet 4	O	17/7/20
L.SK.104	Landscape – Plan – Sheet 5	O	17/7/20
L.SK.105	Landscape – Detailed Plan – Sheet 1	M	17/7/20
L.SK.106	Landscape – Detailed Plan – Sheet 2	M	17/7/20
L.SK.200	Landscape – Sections – Sheet 1	K	8/7/20
L.SK.201	Landscape – Sections – Sheet 2	K	8/7/20
L.SK.202	Landscape – Sections – Sheet 3	K	17/7/20
L.SK.203	Landscape – Sections – Sheet 4	L	17/7/20
L.SK.204	Carpark Details	H	17/7/20

Civil Plans prepared by AT&L			
Drawing	Title	Revision	Date
15-272-C2000	Cover Sheet	A9	20-07-20
15-272-C2001	Drawing List	A9	20-07-20
15-272-C2002	General Notes	A9	20-07-20
15-272-C2003	General Arrangement Plan	A12	20-07-20
15-272-C2010	Siteworks and Stormwater Drainage Plan Sheet 1 of 14	A10	20-07-20
15-272-C2011	Siteworks and Stormwater Drainage Plan Sheet 2 of 14	A10	20-07-20
15-272-C2012	Siteworks and Stormwater Drainage Plan Sheet 3 of 14	A11	20-07-20
15-272-C2013	Siteworks and Stormwater Drainage Plan Sheet 4 of 14	A11	20-07-20
15-272-C2014	Siteworks and Stormwater Drainage Plan Sheet 5 of 14	A10	20-07-20
15-272-C2015	Siteworks and Stormwater Drainage Plan Sheet 6 of 14	A10	20-07-20
15-272-C2016	Siteworks and Stormwater Drainage Plan Sheet 7 of 14	A11	20-07-20
15-272-C2017	Siteworks and Stormwater Drainage Plan Sheet 8 of 14	A11	20-07-20
15-272-C2018	Siteworks and Stormwater Drainage Plan Sheet 9 of 14	A11	20-07-20
15-272-C2019	Siteworks and Stormwater Drainage Plan Sheet 10 of 14	A11	20-07-20
15-272-C2020	Siteworks and Stormwater Drainage Plan Sheet 11 of 14	A12	20-07-20
15-272-C2021	Siteworks and Stormwater Drainage Plan Sheet 12 of 14	A11	20-07-20
15-272-C2022	Siteworks and Stormwater Drainage Plan Sheet 13 of 14	A11	20-07-20

Civil Plans prepared by AT&L			
Drawing	Title	Revision	Date
15-272-C2023	Siteworks and Stormwater Drainage Plan Sheet 14 of 14	A11	20-07-20
15-272-C2030	Pavement Plan	A12	20-07-20

12. Delete Figure 3 and replace with:

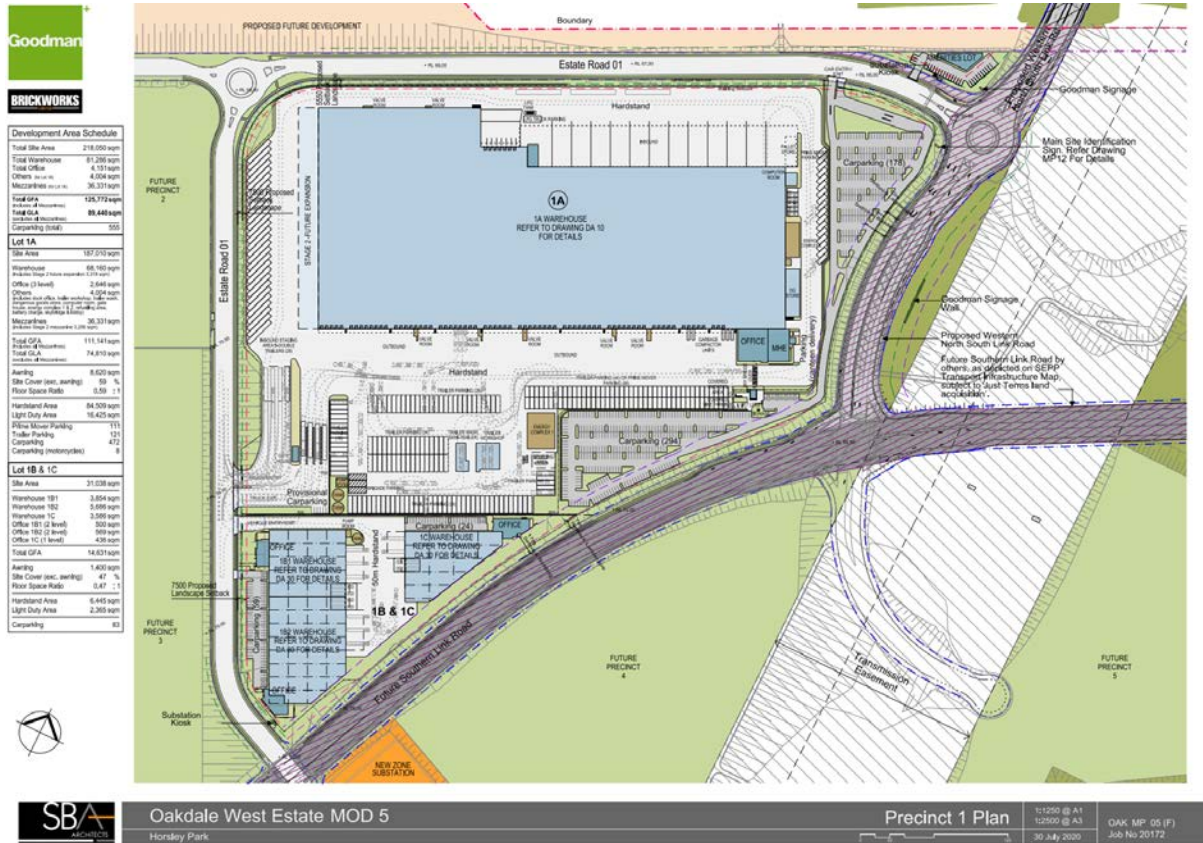


Figure 3: Stage 1 DA Layout

13. Delete Figure 4 and replace with:



Figure 4: Stage 1 Landscape Plan

In Appendix 5

- 14. Delete Figure 7.

In Appendix 6

- 15. Update Figure 8 to Figure 7.
- 16. Delete Figure 9 and replace with:

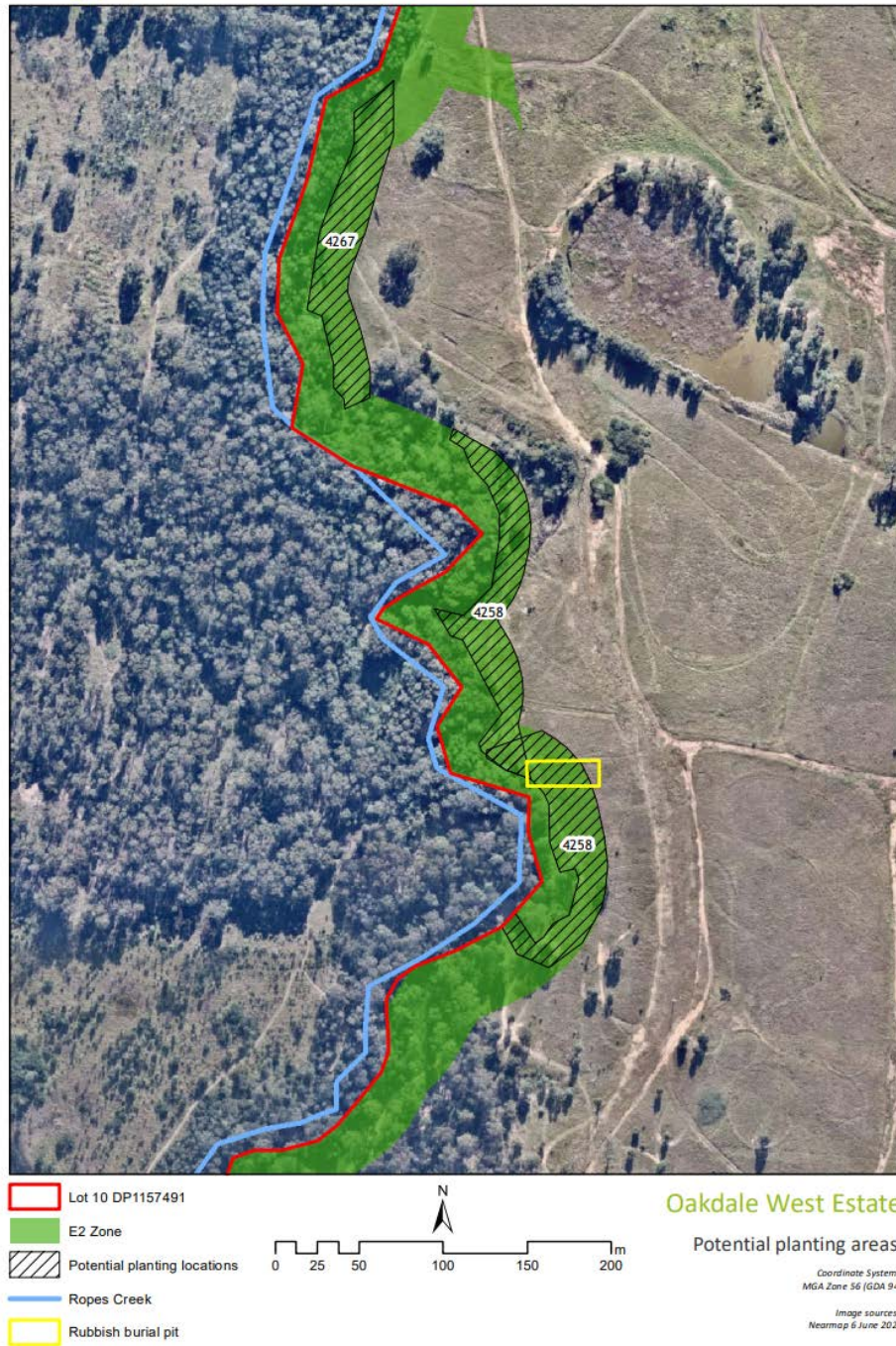


Figure 8: Offsets for WNSLR – Planting Area

17. Update Figure 10 to Figure 9.
18. Update Figure 11 to Figure 10.