

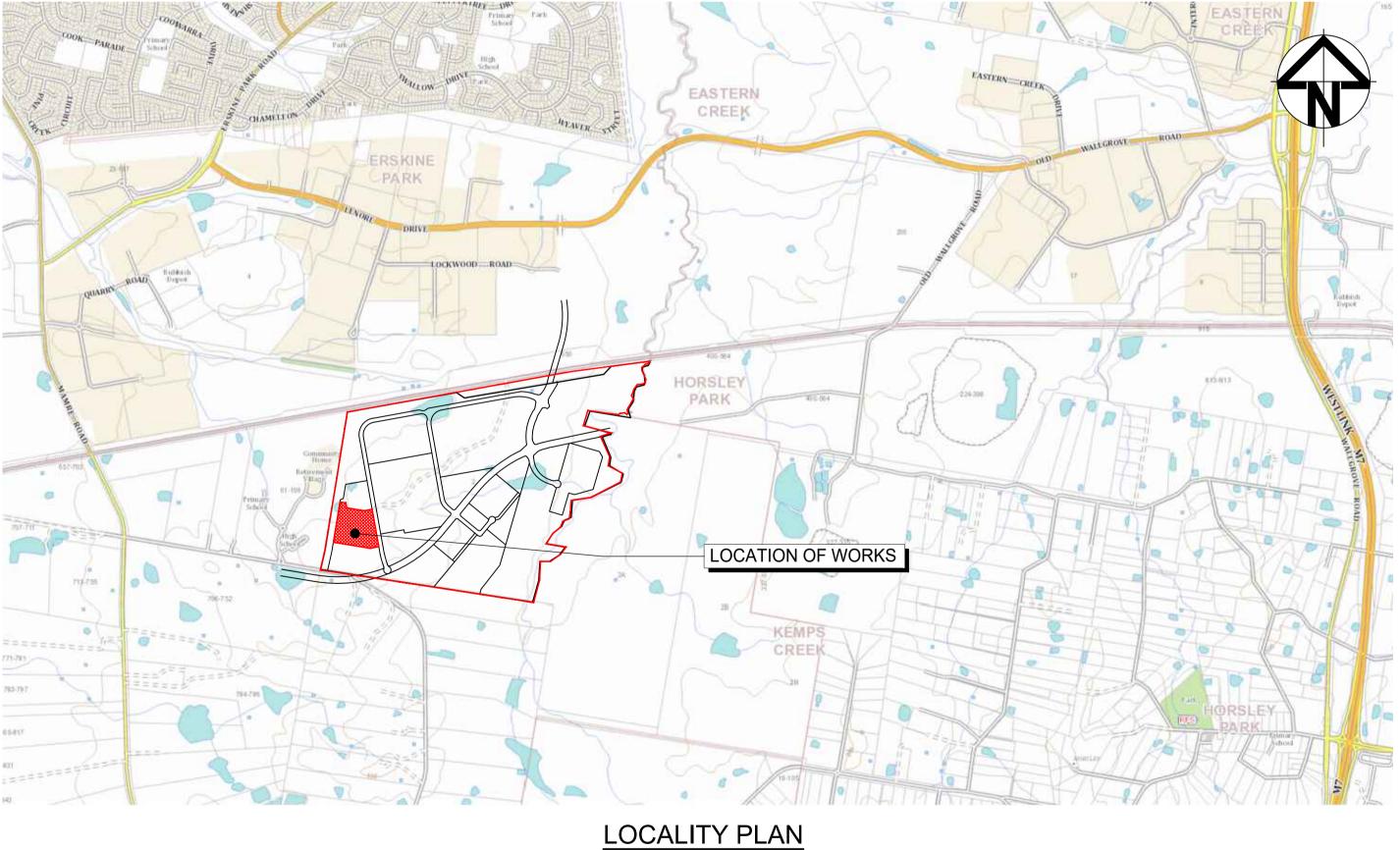


Version: 1, Version Date: 23/03/2022

OAKDALE WEST 7400-SERIES LOT 3B CIVIL WORKS PACKAGE DEVELOPMENT APPLICATION

DRAWING No.	DRAWING TITLE
15-272-C7400	COVER SHEET DRAWING LIST LOCALITY PLAN
15-272-C7401	GENERAL NOTES
15-272-C7405	GENERAL ARRANGEMENT
15-272-C7410	TYPICAL SECTIONS SHEET 1
15-272-C7411	TYPICAL SECTIONS SHEET 2
15-272-C7415	BULK EARTHWORKS PLAN
15-272-C7420	SITEWORKS AND STORMWATER DRAINAGE PLAN SHEET 1
15-272-C7421	SITEWORKS AND STORMWATER DRAINAGE PLAN SHEET 2
15-272-C7422	SITEWORKS AND STORMWATER DRAINAGE PLAN SHEET 3
15-272-C7423	SITEWORKS AND STORMWATER DRAINAGE PLAN SHEET 4
15-272-C7430	PAVEMENT PLAN
15-272-C7440	EROSION AND SEDIMENT CONTROL PLAN
15-272-C7441	EROSION AND SEDIMENT DETAILS

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SITEWORKS NOTES

- 1. ORIGIN OF LEVELS:- REFER SURVEY NOTES.
- 2. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND EXISTING LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES TO BE REPORTED TO AT & L.
- 3. MAKE SMOOTH CONNECTION WITH EXISTING WORKS.
- 4. ALL TRENCH BACKFILL MATERIAL SHALL BE COMPACTED TO THE SAME DENSITY AS THE ADJACENT MATERIAL.
- 5. ALL SERVICE TRENCHES UNDER VEHICULAR PAVEMENTS SHALL BE BACKFILLED WITH SAND TO 300mm ABOVE PIPE. WHERE PIPE IS UNDER PAVEMENTS BACKFILL REMAINDER OF TRENCH TO UNDERSIDE OF PAVEMENT WITH SAND OR APPROVED GRANULAR MATERIAL COMAPACTED IN 150mm LAYERS TO MINIMUM 98% MODIFIED MAXIMUM DRY DENSITY IN ACCORDANCE WITH AS 1289 5.2.1. (OR A DENSITY INDEX OF NOT LESS THAN 75)
- 6. PROVIDE 10mm WIDE EXPANSION JOINTS BETWEEN BUILDINGS AND ALL CONCRETE OR UNIT PAVEMENTS.
- 7. ASPHALTIC CONCRETE SHALL CONFORM TO R.M.S SPECIFICATION R116.
- 8. ALL BASECOURSE MATERIAL SHALL BE IGNEOUS ROCK QUARRIED MATERIAL TO COMPLY WITH R.M.S FORM 3051 (UNBOUND), R.M.S FORM 3052 (BOUND) COMPACTED TO MINIMUM 98% MODIFIED DENSITY IN ACCORDANCE WITH AS 1289 5.2.1 FREQUENCY OF COMPACTION TESTING SHALL NOT BE LESS THAN 1 TEST PER 50m OF BASECOURSE MATERIAL PLACED.
- 9. ALL SUB-BASE COURSE MATERIAL SHALL BE IGNEOUS ROCK QUARRIED MATERIAL TO COMPLY WITH R.M.S FORM 3051, 3051.1 AND COMPACTED TO MINIMUM 95% MODIFIED DENSITY IN ACCORDANCE WITH A.S 1289 5.2.1 FREQUENCY OF COMPACTION TESTING SHALL NOT BE LESS THAN 1 TEST PER 50m OF SUB-BASE COURSE MATERIAL PLACED.
- 10. AS AN ALTERNATIVE TO THE USE OF IGNEOUS ROCK AS A SUB-BASE MATERIAL IN (9) A CERTIFIED RECYCLED CONCRETE MATERIAL COMPLYING WITH R M S FORM 3051 AND 3051 1 WILL BE CONSIDERED SUBJECT TO MATERIAL SAMPLES AND APPROPRIATE CERTIFICATIONS BEING PROVIDED TO THE SATISFACTION OF AT & L.
- 11. SHOULD THE CONTRACTOR WISH TO USE A RECYCLED PRODUCT THE CONTRACTOR IS TO SEEK ACCEPTANCE OF THE PRODUCT FROM AT&L. THE PRICE DIFFERENCE BETWEEN AN IGNEOUS PRODUCT AND A RECYCLED PRODUCT SHALL BE CLEARLY INDICATED.
- 12. WHERE NOTED ON THE DRAWINGS THAT WORKS ARE TO BE CARRIED BY OTHERS, (eg. ADJUSTMENT OF SERVICES), THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CO-ORDINATION OF THESE WORKS.

SURVEY NOTES

THE EXISTING SITE CONDITIONS SHOWN ON THE FOLLOWING DRAWINGS HAVE BEEN INVESTIGATED BY CARDNO HARD & FORESTER PTY LTD, BEING REGISTERED SURVEYORS. THE INFORMATION IS SHOWN TO PROVIDE A BASIS FOR DESIGN. AT & L DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE SURVEY BASE OR ITS SUITABILITY AS A BASIS FOR CONSTRUCTION DRAWINGS.

SHOULD DISCREPANCIES BE ENCOUNTERED DURING CONSTRUCTION BETWEEN THE SURVEY DATA AND ACTUAL FIELD DATA. CONTACT AT & L.

THE FOLLOWING NOTES HAVE BEEN TAKEN DIRECTLY FROM THE ORIGINAL SURVEY DOCUMENTS.

IMPORTANT NOTE:

THIS PLAN IS PREPARED FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE. THE TITLE BOUNDARIES SHOWN HEREON WERE NOT MARKED BY THE AUTHOR AT THE TIME OF SURVEY AND HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY AND NOT BY FIELD MEASUREMENT.

A SERVICES SEARCH OF THE AREA SURVEYED ABOVE HAS NOT BEEN UNDERTAKEN. VISIBLE SERVICES SHOWN HEREON HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATIONS OF ALL SERVICES. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN.

EXISTING UNDERGROUND SERVICES NOTES

THE LOCATIONS OF UNDERGROUND SERVICES SHOWN IN THIS SET OF DRAWINGS HAVE BEEN PLOTTED FROM SURVEY INFORMATION AND SERVICE AUTHORITY INFORMATION. THE SERVICE INFORMATION HAS BEEN PREPARED ONLY TO SHOW THE APPROXIMATE POSITIONS OF ANY KNOWN SERVICES AND MAY NOT BE AS CONSTRUCTED OR ACCURATE.

AT & L CAN NOT GUARANTEE THAT THE SERVICES INFORMATION SHOWN ON THESE DRAWINGS ACCURATELY INDICATES THE PRESENCE OR ABSENCE OF SERVICES OR THEIR LOCATION AND WILL ACCEPT NO LIABILITY FOR INACCURACIES IN THE SERVICES INFORMATION SHOWN FROM ANY CAUSE WHATSOEVER.

CONTRACTORS SHALL TAKE DUE CARE WHEN EXCAVATING ONSITE INCLUDING HAND EXCAVATION WHERE NECESSARY.

CONTRACTORS ARE TO CONTACT THE RELEVANT SERVICE AUTHORITY PRIOR TO COMMENCEMENT OF EXCAVATION WORKS.

CONTRACTORS ARE TO UNDERTAKE A SERVICES SEARCH, PRIOR TO COMMENCEMENT OF WORKS ON SITE. SEARCH RESULTS ARE TO BE KEPT ON SITE AT ALL TIMES.



CONTRACTOR SHALL CALL;

DIAL BEFORE YOU DIG 1100

PRIOR TO COMMENCEMENT OF WORK TO OBTAIN ALL CURRENT SERVICE AUTHORITY PLANS

CONCRETE NOTES

- 1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3600 CURRENT EDITION WITH AMENDMENTS, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- 2. CONCRETE QUALITY ALL REQUIREMENTS OF THE CURRENT ACSE CONCRETE SPECIFICATION DOCUMENT 1 SHALL APPLY TO THE FORMWORK, REINFORCEMENT AND CONCRETE UNLESS NOTED OTHERWISE.

ELEMENT	AS 3600 F'c MPa	SPECIFIED	NOMINAL
	AT 28 DAYS	SLUMP	AGG. SIZE
VEHICULAR BASE KERBS, PATHS, AND PITS	32 25	60 80	20 20

- CEMENT TYPE SHALL BE (ACSE SPECIFICATION) TYPE SL - PROJECT CONTROL TESTING SHALL BE CARRIED OUT IN ACCORDANCE
- WITH AS 1379. 3. NO ADMIXTURES SHALL BE USED IN CONCRETE UNLESS APPROVED IN WRITING BY AT & L.
- 4. CLEAR CONCRETE COVER TO ALL REINFORCEMENT FOR DURABILITY SHALL BE 40mm TOP AND 70mm FOR EXTERNAL EDGES UNLESS NOTED OTHERWISE.
- 5. ALL REINFORCEMENT SHALL BE FIRMLY SUPPORTED ON MILD STEEL PLASTIC TIPPED CHAIRS, PLASTIC CHAIRS OR CONCRETE CHAIRS AT NOT GREATER THAN 1m CENTRES BOTH WAYS. BARS SHALL BE TIED AT ALTERNATE INTERSECTIONS.
- 6. THE FINISHED CONCRETE SHALL BE A DENSE HOMOGENEOUS MASS. COMPLETELY FILLING THE FORMWORK, THOROUGHLY EMBEDDING THE REINFORCEMENT AND FREE OF STONE POCKETS, ALL CONCRETE INCLUDING SLABS ON GROUND AND FOOTINGS SHALL BE COMPACTED AND CURED IN ACCORDANCE WITH R.M.S SPECIFICATION R83.
- 7. REINFORCEMENT SYMBOLS: N DENOTES GRADE 450 N BARS TO AS 1302 GRADE N
- R DENOTES 230 R HOT ROLLED PLAIN BARS TO AS 1302 SL DENOTES HARD-DRAWN WIRE REINFORCING FABRIC TO AS 1304
- NUMBER OF BARS IN GROUP

17 N 20250 NOMINAL BAR SIZE IN mm ____ L_SPACING IN mm

THE FIGURE FOLLOWING THE FABRIC SYMBOL SL IS THE REFERANCE NUMBER FOR FABRIC TO AS 1304.

8. FABRIC SHALL BE LAPPED IN ACCORDANCE WITH THE FOLLOWING DETAIL:

> 1 <u>25</u> MIN LAP TWO WIRES

KERBING NOTES

- 1. ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 25 MPa U.N.O IN REINFORCED CONCRETE NOTES.
- 2. ALL KERBS, GUTTERS, DISH DRAINS AND CROSSINGS TO BE CONSTRUCTED ON MIN. 100mm GRANULAR BASECOURSE COMPACTED TO MINIMUM 95% MODIFIED DRY DENSITY (AS 1289 5.2.1).
- 3. EXPANSION JOINTS (E.J) TO BE FORMED FROM 10mm COMPRESSIBLE CORK FILLER BOARD FOR THE FULL DEPTH OF THE SECTION AND CUT TO PROFILE. EXPANSION JOINTS TO BE LOCATED AT DRAINAGE PITS. ON TANGENT POINTS OF CURVES AND ELSEWHERE AT MAX 12m CENTRES EXCEPT FOR INTEGRAL KERBS WHERE THE EXPANSION JOINTS ARE TO MATCH THE JOINT LOCATIONS IN THE SLABS.
- 4. WEAKENED PLANE JOINTS TO BE MIN 3mm WIDE AND LOCATED AT 3m CENTRES EXCEPT FOR INTEGRAL KERBS WHERE THE WEAKENED PLANE JOINTS ARE TO MATCH THE JOINT LOCATIONS IN THE SLABS.
- 5. BROOMED FINISH TO ALL RAMPED AND VEHICULAR CROSSINGS. ALL OTHER KERBING OR DISH DRAINS TO BE STEEL FLOAT FINISHED.
- 6. IN THE REPLACEMENT OF KERB AND GUTTER :-EXISTING ROAD PAVEMENT IS TO BE SAWCUT 900mm U.N.O FROM THE LIP OF GUTTER. UPON COMPLETION OF THE NEW KERB AND GUTTER NEW BASECOURSE AND SURFACE TO BE LAID 900mm WIDE U.N.O.

EXISTING ALLOTMENT DRAINAGE PIPES ARE TO BE BUILT INTO THE NEW KERB AND GUTTER WITH 100mm DIA HOLE.

EXISTING KERB AND GUTTER IS TO BE COMPLETELY REMOVED WHERE NEW KERB AND GUTTER IS SHOWN.

FINISHED SURFACE LEVELS

1. ALL FINISHED SURFACE LEVELS ARE ±500mm U.N.O.

STORMWATER DRAINAGE NOTES

1. STORMWATER DESIGN CRITERIA (A) AVERAGE RECURRENCE INTERVAL 1:100 YEARS MAJOR STORM (OVERLAND FLOW)

- 1:20 YEARS MINOR STORM (PIPED NETWORK) (B) RAINFALL INTENSITIES:
- TIME OF CONCENTRATION:5 MINUTES 1:100 YEARS= 219 mm/hr 1:20 YEARS= 167 mm/hr
- (C) RUNOFF COEFFICIENTS: ROOF AREAS:

WELDED JOINTS.

C 100 =1.0 EXTERNAL PAVEMENTS: C 100 =1.0

2. PIPES 300 DIA. AND LARGER TO BE REINFORCED CONCRETE CLASS '2' APPROVED SPIGOT AND SOCKET WITH RUBBER RING JOINTS. U.N.O. 3. PIPES UP TO 300 DIA SHALL BE SEWER GRADE uPVC WITH SOLVENT

4. EQUIVALENT STRENGTH VCP OR FRC PIPES MAY BE USED. SUBJECT TO THE APPROVAL OF PENRITH CITY COUNCIL.

- 5. ALL STORMWATER DRAINAGE LINES UNDER PROPOSED BUILDING SLABS TO BE UPVC PRESSURE PIPE GRADE 6. ENSURE ALL VERTICALS AND DOWNPIPES ARE uPVC PRESSURE PIPE, GRADE 6 FOR A MIN OF 3.0m IN HEIGHT.
- 6. PIPES TO BE INSTALLED TO TYPE HS1 SUPPORT IN ACCORDANCE WITH AS 3725 (2007) IN ALL CASES BACKFILL TRENCH WITH SAND TO 300mm ABOVE PIPE. WHERE PIPE IS UNDER PAVEMENTS BACKFILL REMAINDER OF TRENCH TO UNDERSIDE OF PAVEMENT WITH SAND OR APPROVED GRANULAR MATERIAL COMPACTED IN 150mm LAYERS TO MINIMUM 98% STANDARD MAXIMUM DRY DENSITY IN ACCORDANCE WITH AS 1289 5.2.1 (OR A DENSITY INDEX OF NOT LESS THAN 75)
- ALL INTERNAL WORKS WITHIN PROPERTY BOUNDARIES ARE TO COMPLY WITH THE REQUIREMENTS OF AS 3500 3.1 (1998) AND AS/NZS 3500 3.2
- 8. PRECAST PITS MAY BE USED EXTERNAL TO THE BUILDING SUBJECT TO APPROVAL BY AT & L.
- 9. ENLARGERS, CONNECTIONS AND JUNCTIONS TO BE PREFABRICATED FITTINGS WHERE PIPES ARE LESS THAN 300 DIA.
- WHERE SUBSOIL DRAINS PASS UNDER FLOOR SLABS AND VEHICULAR PAVEMENTS, UNSLOTTED uPVC SEWER GRADE PIPE IS TO BE USED. 11. CARE IS TO BE TAKEN WITH LEVELS OF STORMWATER LINES. GRADES
- SHOWN ARE NOT TO BE REDUCED WITHOUT APPROVAL. 12. GRATES AND COVERS SHALL CONFORM TO AS 3996.
- 13. AT ALL TIMES DURING CONSTRUCTION OF STORMWATER PITS, ADEQUATE SAFETY PROCEDURES SHALL BE TAKEN TO ENSURE AGAINST THE POSSIBILITY OF PERSONNEL FALLING DOWN PITS.
- 4. ALL EXISTING STORMWATER DRAINAGE LINES AND PITS THAT ARE TO REMAIN ARE TO BE INSPECTED AND CLEANED. DURING THIS PROCESS ANY PART OF THE STORMWATER DRAINAGE SYSTEM THAT WARRANTS REPAIR SHALL BE REPORTED TO THE SUPERINTENDENT/ENGINEER FOR FURTHER DIRECTIONS.

EROSION AND SEDIMENT CONTROL NOTES

GENERAL INSTRUCTIONS

- 1. THE SITE SUPERINTENDENT/ENGINEER WILL ENSURE THAT ALL SOIL AND WATER MANAGEMENT WORKS ARE LOCATED AS DOCUMENTED.
- 2. ALL WORK SHALL BE GENERALLY CARRIED OUT IN ACCORDANCE WITH a. LOCAL AUTHORITY REQUIREMENTS b. EPA REQUIREMENTS
- c. NSW DEPARTMENT OF HOUSING MANUAL "MANAGING URBAN STORMWATER, SOILS AND CONSTRUCTION", 4th EDITION, MARCH 2004
- 3. MAINTAIN THE EROSION CONTROL DEVICES TO THE SATISFACTION OF THE SUPERINTENDENT AND THE LOCAL AUTHORITY.
- 4. WHEN STORMWATER PITS ARE CONSTRUCTED. PREVENT SITE RUNOFF ENTERING UNLESS SEDIMENT FENCES ARE ERECTED AROUND PITS.
- 5. CONTRACTOR IS TO ENSURE ALL EROSION & SEDIMENT CONTROL DEVICES ARE MAINTAINED IN GOOD WORKING ORDER AND OPERATE EFFECTIVELY, REPAIRS AND OR MAINTENANCE SHALL BE UNDERTAKEN AS REQUIRED, PARTICULARLY FOLLOWING STORM EVENTS.

LAND DISTURBANCE

- 6. WHERE PRACTICAL, THE SOIL EROSION HAZARD ON THE SITE WILL BE KEPT AS LOW AS POSSIBLE. TO THIS END, WORKS SHOULD BE UNDERTAKEN IN THE FOLLOWING SEQUENCE:
- (A) INSTALL A WIND FENCE ALONG THE BOUNDARIES AS SHOWN ON PLAN. REFER DETAIL.
- (B) INSTALL A SEDIMENT FENCE ALONG THE BOUNDARIES AS SHOWN ON PLAN. REFER DETAIL.
- (C) CONSTRUCT STABILISED CONSTRUCTION ENTRANCE TO LOCATION AS DETERMINED BY SUPERINTENDENT/ENGINEER. REFER DETAIL.
- (D) INSTALL SEDIMENT BASIN AS SHOWN ON PLAN
- (E) INSTALL SEDIMENT TRAPS AS SHOWN ON PLAN.
- (F) UNDERTAKE SITE DEVELOPMENT WORKS IN ACCORDANCE WITH THE ENGINEERING PLANS. WHERE POSSIBLE, PHASE DEVELOPMENT SO THAT LAND DISTURBANCE IS CONFINED TO AREAS OF WORKABLE SIZE.

EROSION CONTROL

- 7. DURING WINDY WEATHER, LARGE, UNPROTECTED AREAS WILL BE KEPT MOIST (NOT WET) BY SPRINKLING WITH WATER TO KEEP DUST UNDER CONTROL.
- 8. FINAL SITE LANDSCAPING WILL BE UNDERTAKEN AS SOON AS POSSIBLE AND WITHIN 20 WORKING DAYS FROM COMPLETION OF CONSTRUCTION ACTIVITIES.

SEDIMENT CONTROL

- 9. STOCKPILES WILL NOT BE LOCATED WITHIN 2 METRES OF HAZARD AREAS, INCLUDING LIKELY AREAS OF CONCENTRATED OR HIGH VELOCITY FLOWS SUCH AS WATERWAYS. WHERE THEY ARE BETWEEN 2 AND 5 METRES FROM SUCH AREAS, SPECIAL SEDIMENT CONTROL MEASURES SHOULD BE TAKEN TO MINIMISE POSSIBLE POLLUTION TO DOWNSLOPE WATERS, E.G. THROUGH INSTALLATION OF SEDIMENT FENCING
- 10. ANY SAND USED IN THE CONCRETE CURING PROCESS (SPREAD OVER THE SURFACE) WILL BE REMOVED AS SOON AS POSSIBLE AND WITHIN 10 WORKING DAYS FROM PLACEMENT.
- 11. WATER WILL BE PREVENTED FROM ENTERING THE PERMANENT DRAINAGE SYSTEM UNLESS IT IS RELATIVELY SEDIMENT FREE. I.E. THE CATCHMENT AREA HAS BEEN PERMANENTLY LANDSCAPED AND/OR ANY LIKELY SEDIMENT HAS BEEN FILTERED THROUGH AN APPROVED STRUCTURE.
- 12. TEMPORARY SOIL AND WATER MANAGEMENT STRUCTURES WILL BE REMOVED ONLY AFTER THE LANDS THEY ARE PROTECTING ARE REHABILITATED.

OTHER MATTERS

- 13. ACCEPTABLE RECEPTORS WILL BE PROVIDED FOR CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT-WEIGHT WASTE MATERIALS AND LITTER.
- 14. ANY EXISTING TREES WHICH FORM PART OF THE FINAL LANDSCAPING PLAN WILL BE PROTECTED FROM CONSTRUCTION ACTIVITIES BY:
- (A) PROTECTING THEM WITH BARRIER FENCING OR SIMILAR MATERIALS INSTALLED OUTSIDE THE DRIP LINE
- (B) ENSURING THAT NOTHING IS NAILED TO THEM
- (C) PROHIBITING PAVING, GRADING, SEDIMENT WASH OR PLACING OF STOCKPILES WITHIN THE DRIP LINE EXCEPT UNDER THE FOLLOWING CONDITIONS.
- (I) ENCROACHMENT ONLY OCCURS ON ONE SIDE AND NO CLOSER TO THE TRUNK THAN EITHER 1.5 METRES OR HALF THE DISTANCE BETWEEN THE OUTER EDGE OF THE DRIP LINE AND THE TRUNK, WHICH EVER IS THE GREATER
- (II) A DRAINAGE SYSTEM THAT ALLOWS AIR AND WATER TO CIRCULATE THROUGH THE ROOT ZONE (E.G. A GRAVEL BED) IS PLACED UNDER ALL FILL LAYERS OF MORE THAN 300 MILLIMETRES DEPTH
- (III) CARE IS TAKEN NOT TO CUT ROOTS UNNECESSARILY NOR TO COMPACT THE SOIL AROUND THEM.

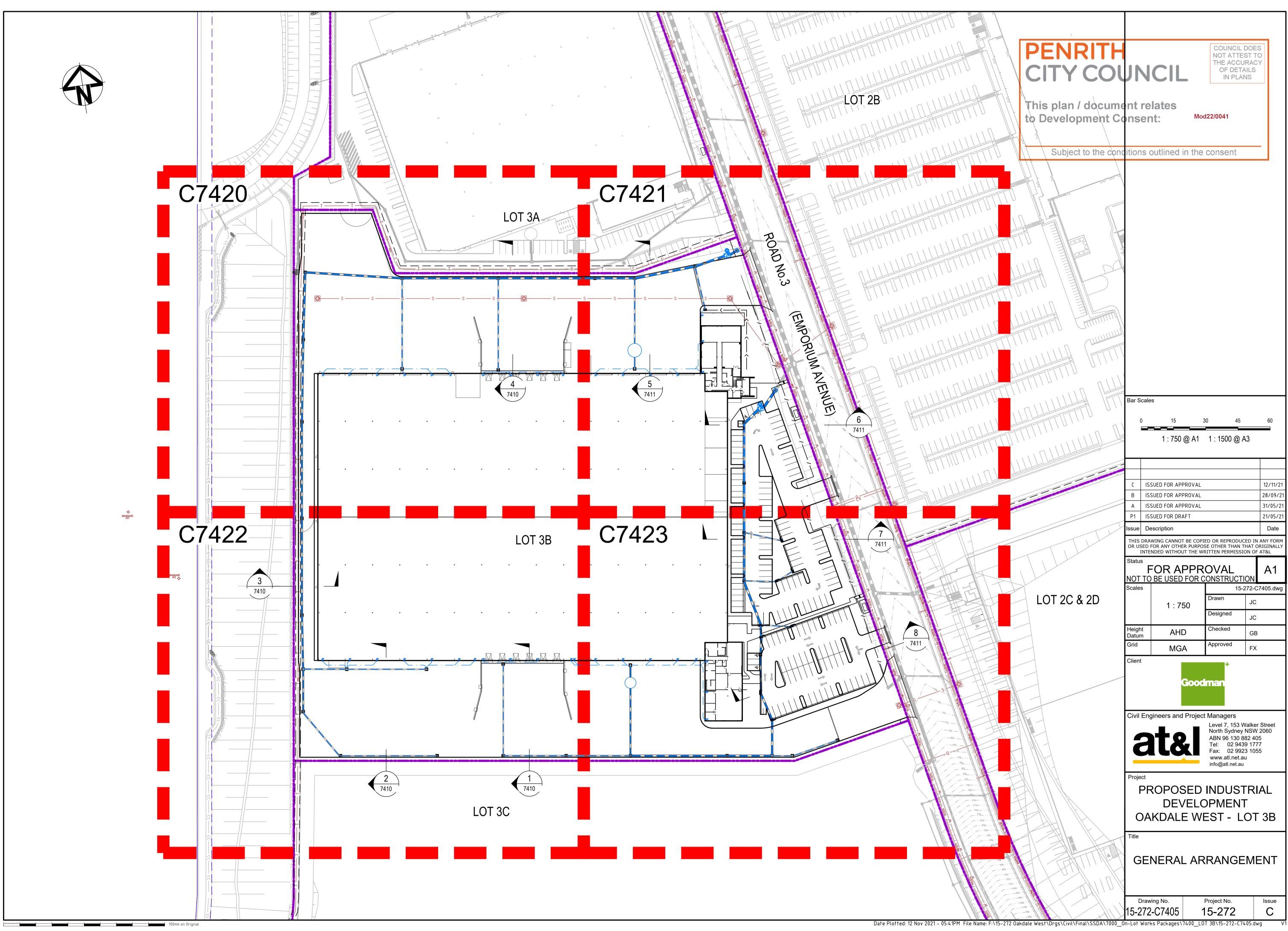
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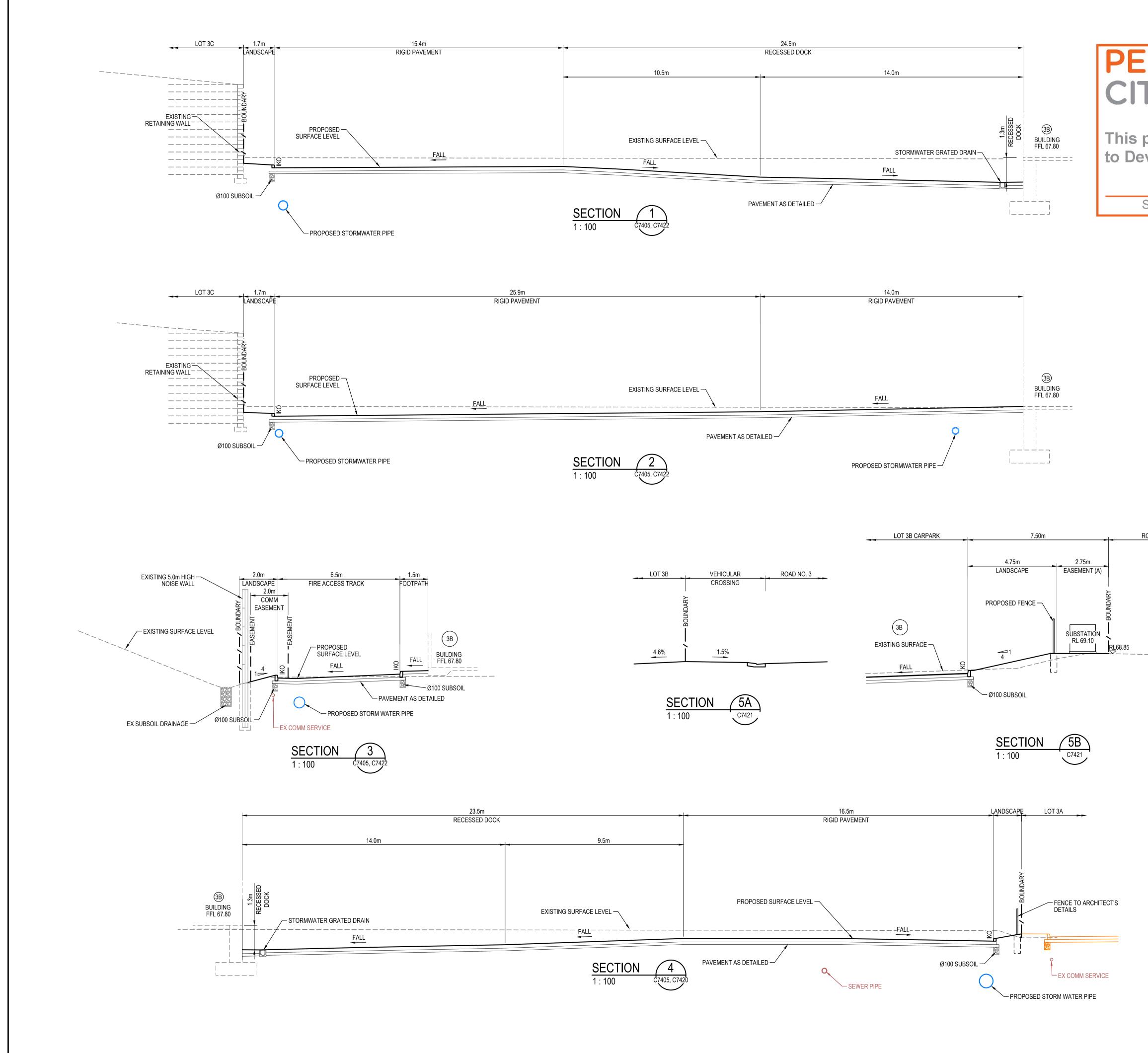
SUITABLE EROSION AND SEDIMENT CONTROLS SHALL BE DESIGNED. PROVIDED AND MAINTAINED BY THE CONTRACTOR THROUGHOUT ALL STAGES OF WORKS, INCLUDING AT COMPLETION OF THE BULK EARTHWORKS WHERE SHOWN ON AT&L DRAWINGS OR WHERE DIRECTED BY THE SUPERINTENDENT OR PENRITH CITY COUNCIL'S ENGINEERS.

SEDIMENT AND EROSION CONTROLS ARE TO BE DESIGNED AND DOCUMENTED BY A SUITABLY QUALIFIED EXPERT ENGAGED BY THE CONTRACTOR AND APPROVED AS PART OF THE CONSTRUCTION ENVIRONMENTAL MANAGEMENT PLAN PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, SUCH CONTROLS SHALL BE IN ACCORDANCE WITH THE RELEVANT REQUIREMENTS IN THE LATEST VERSION OF THE MANAGING URBAN STORMWATER: SOILS AND CONSTRUCTION GUIDELINE (LANDCOM).

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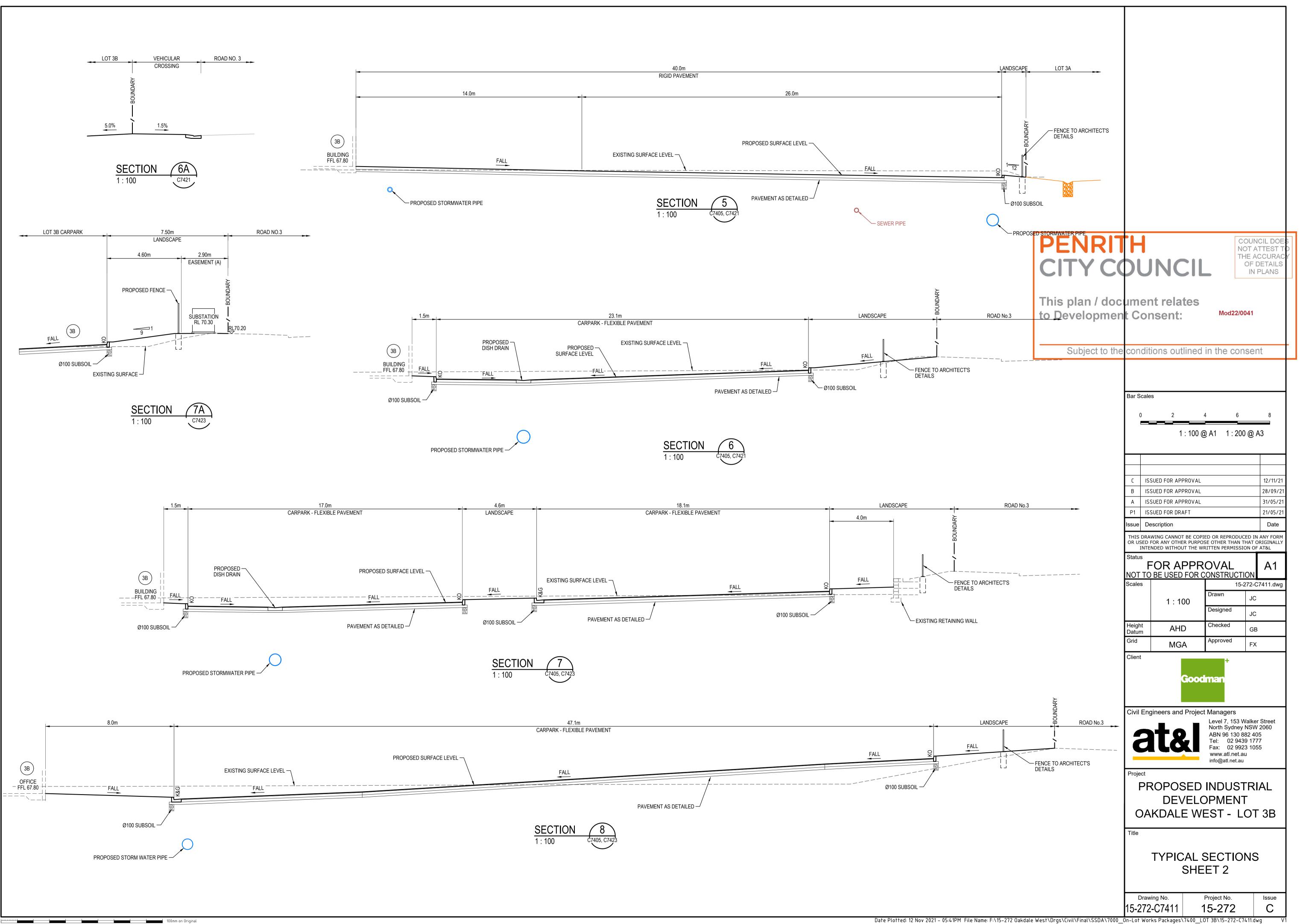




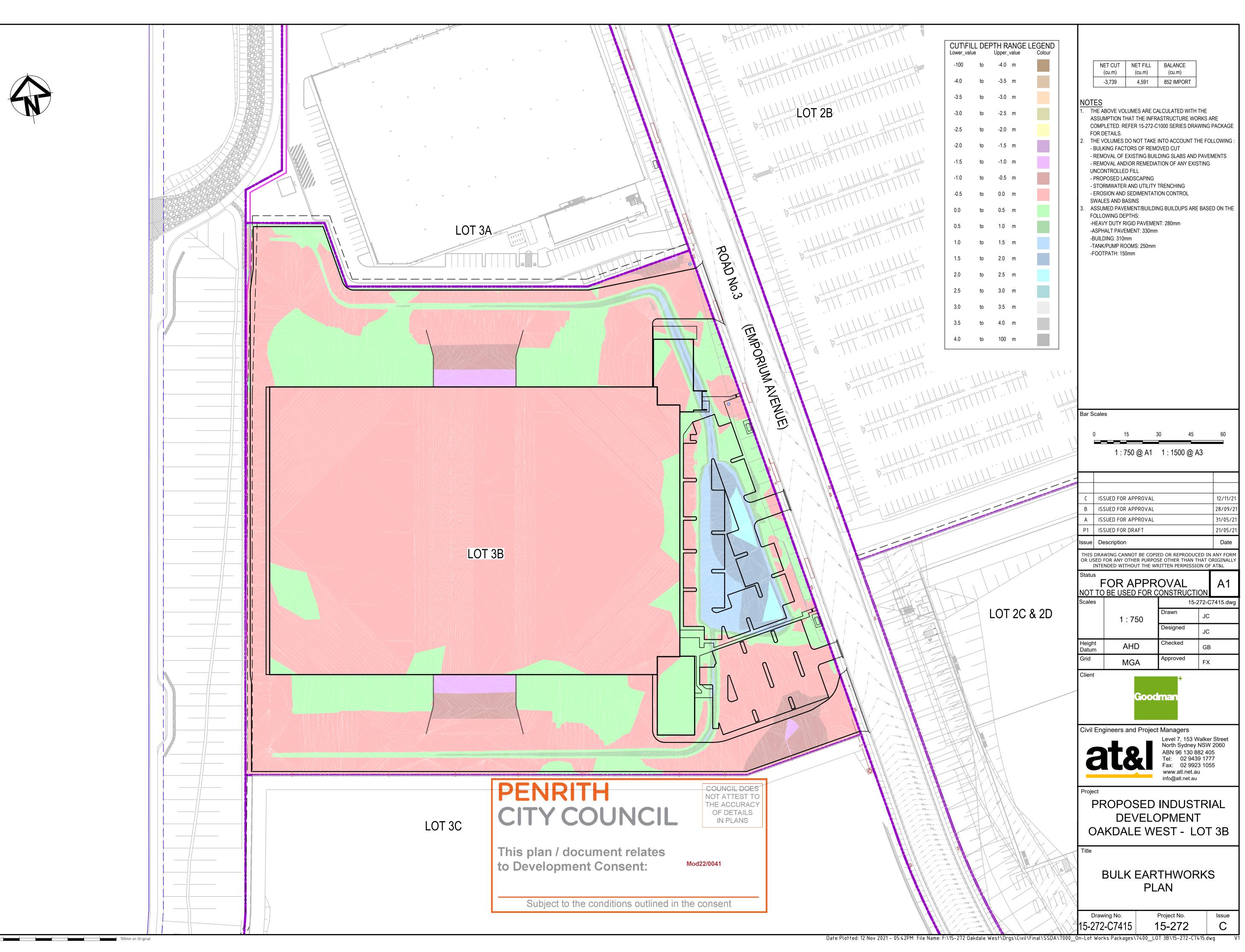
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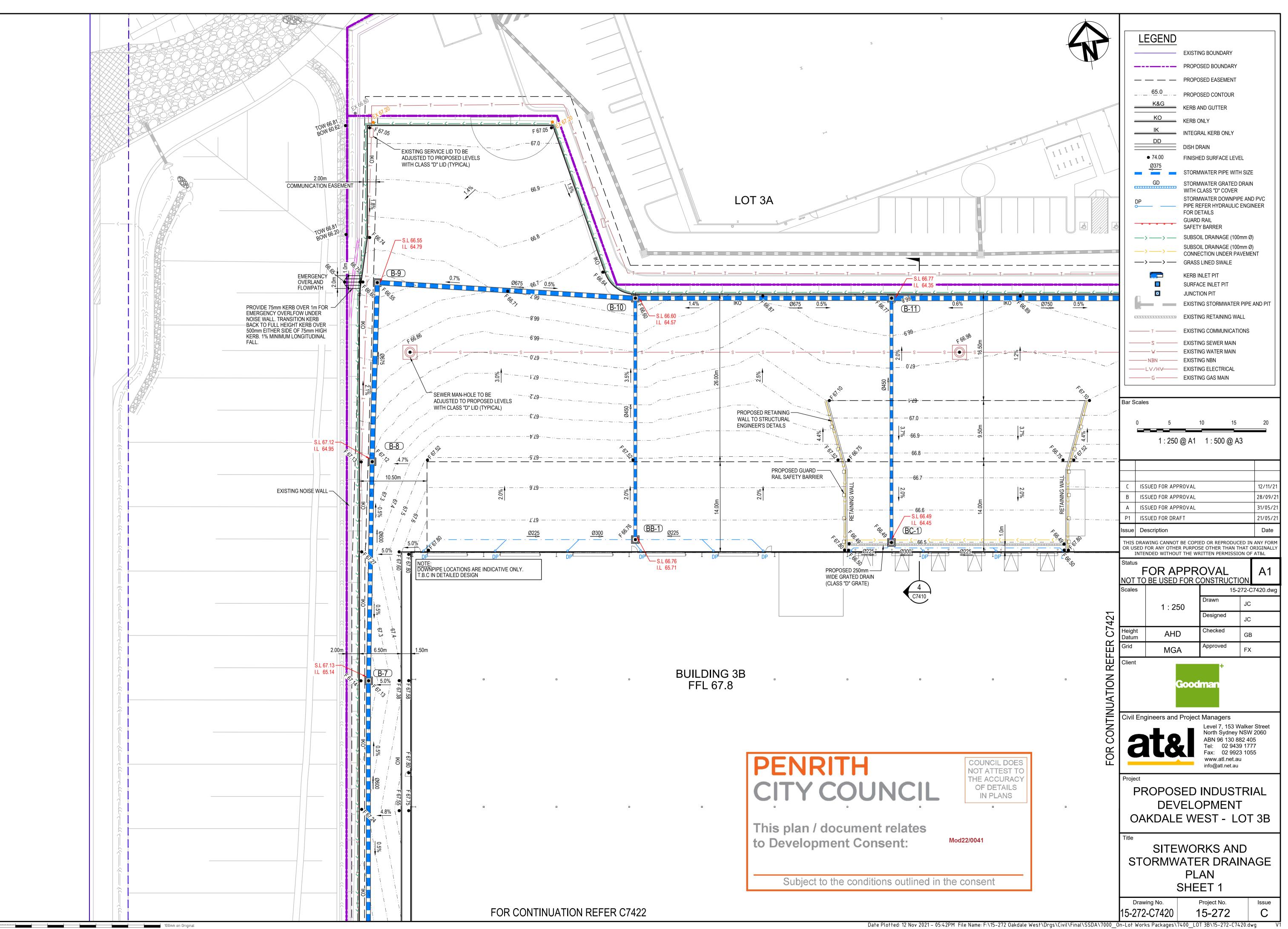
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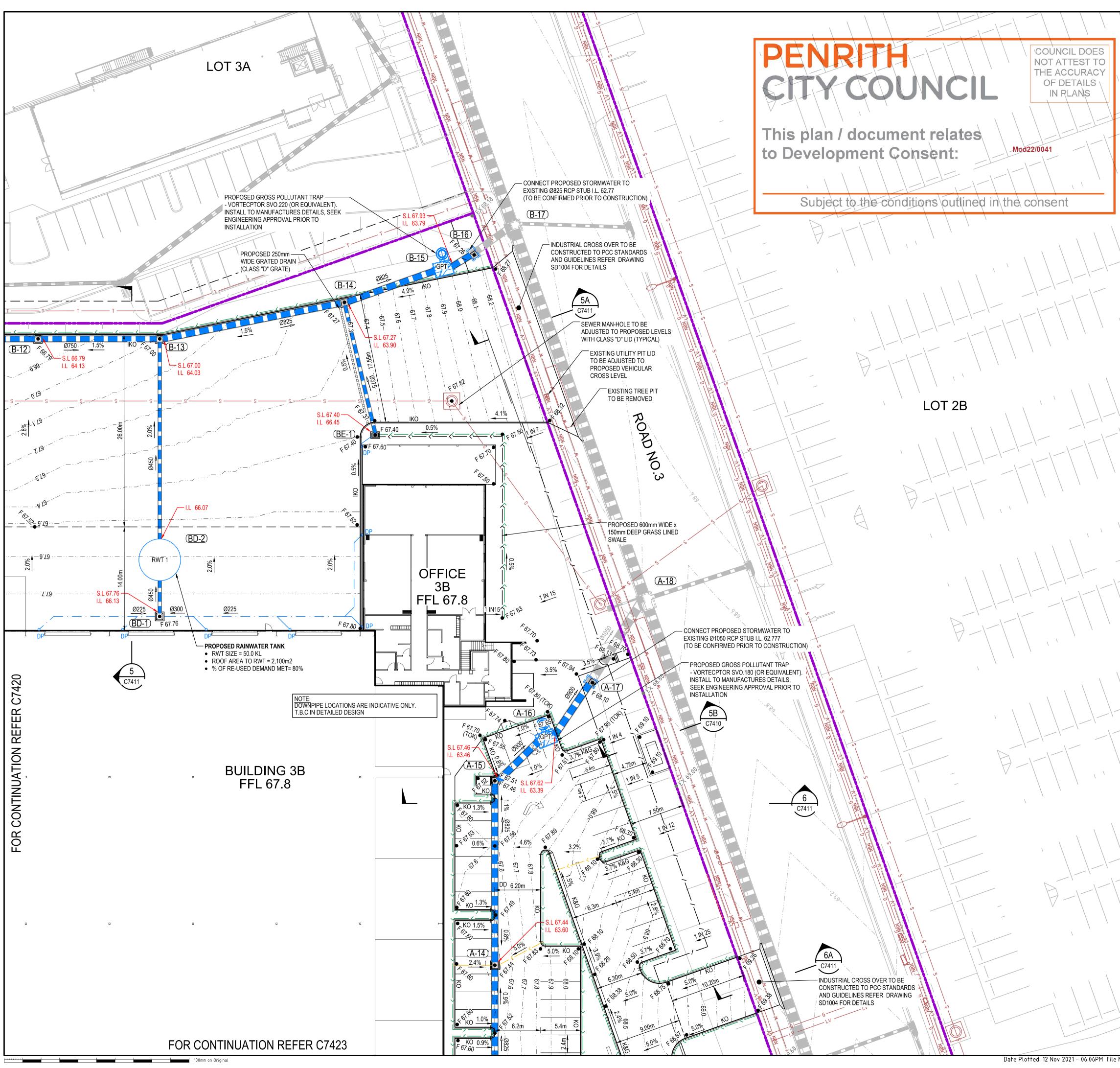


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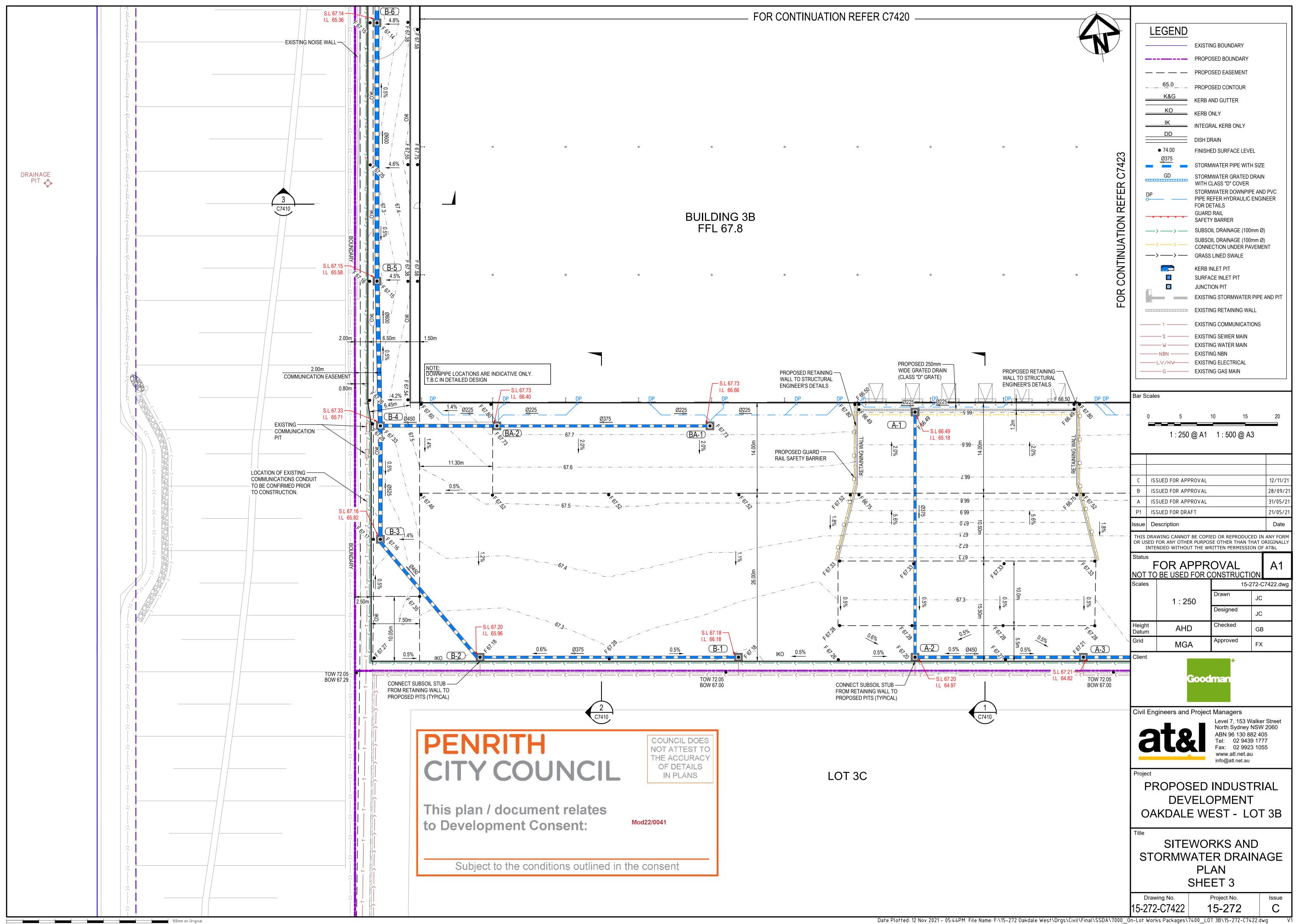
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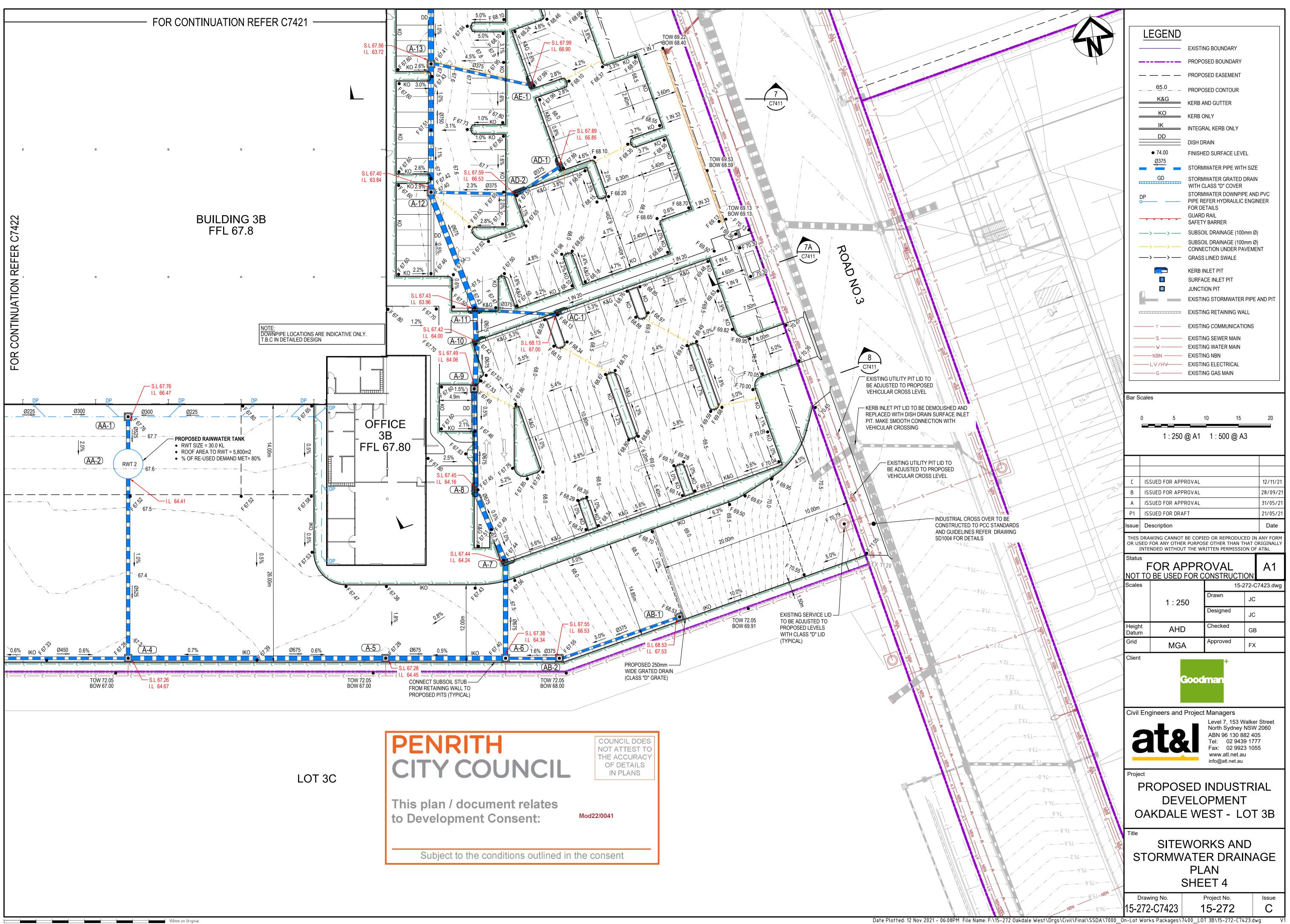
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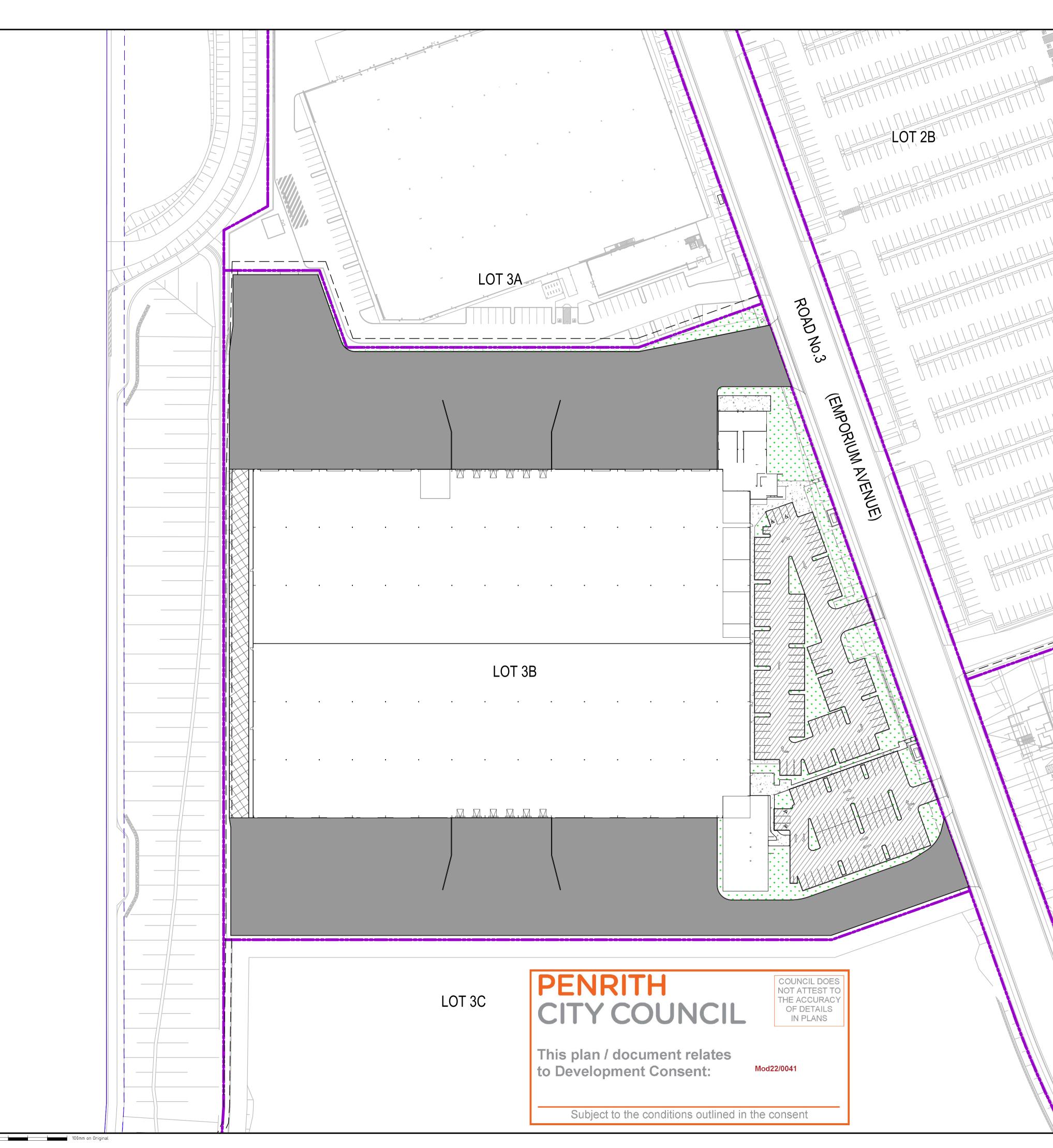




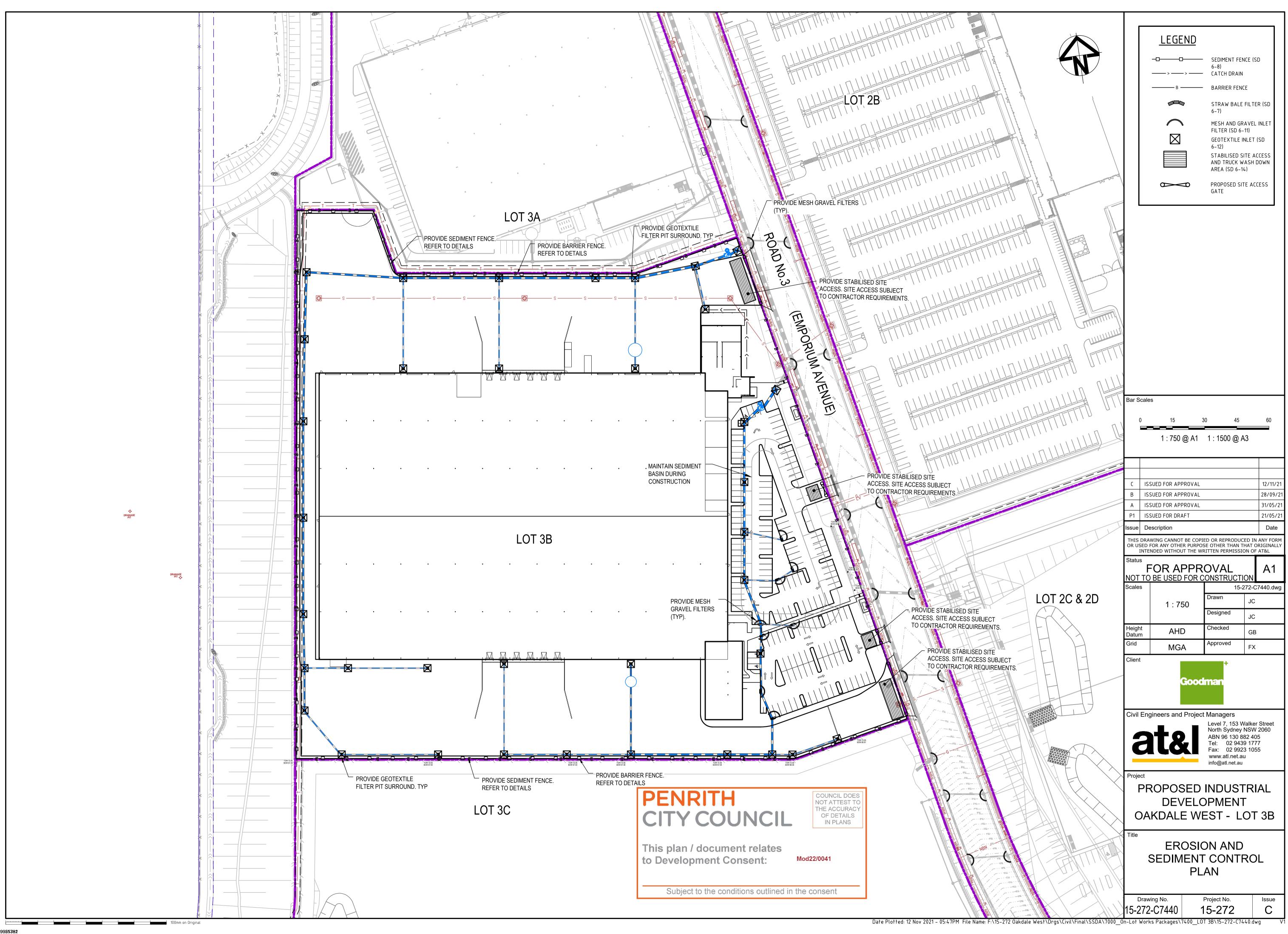


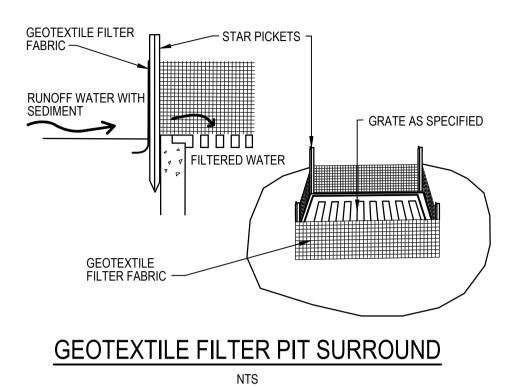




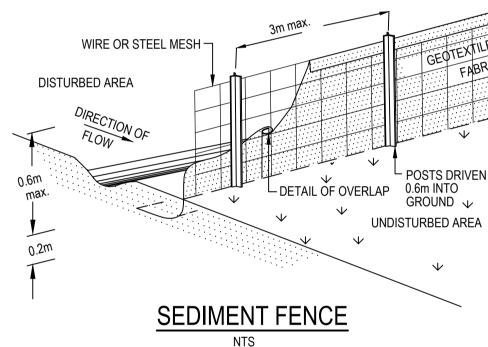


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COUNCIL DOES NOT ATTEST TO THE ACCURACY OF DETAILS IN PLANS

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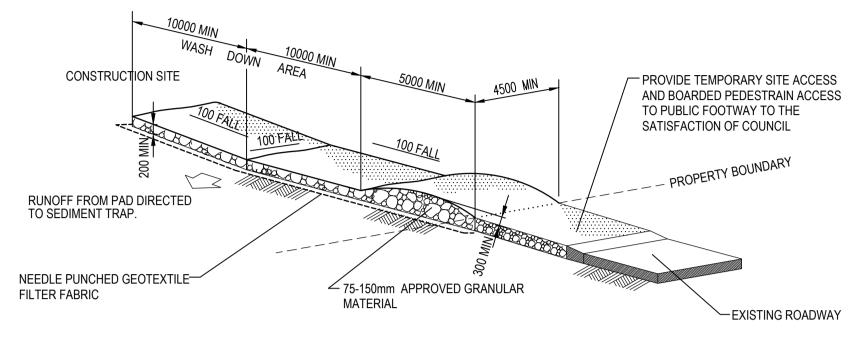
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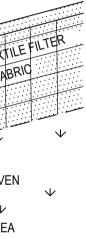
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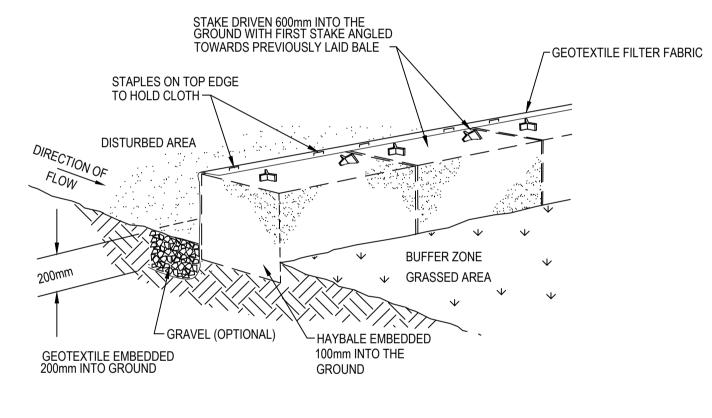
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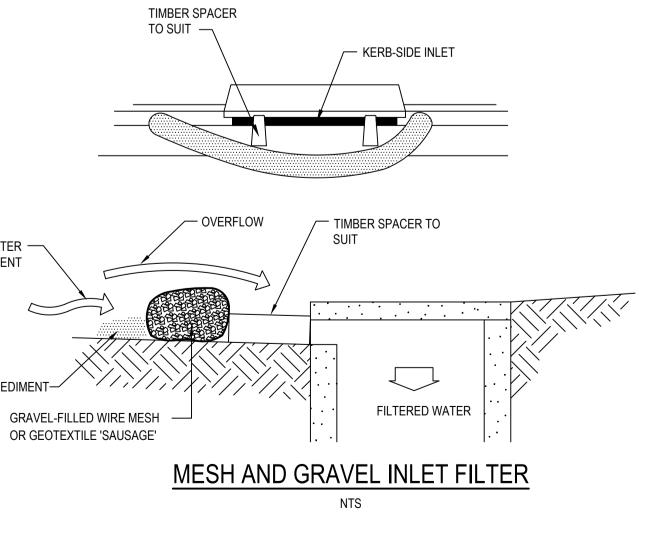








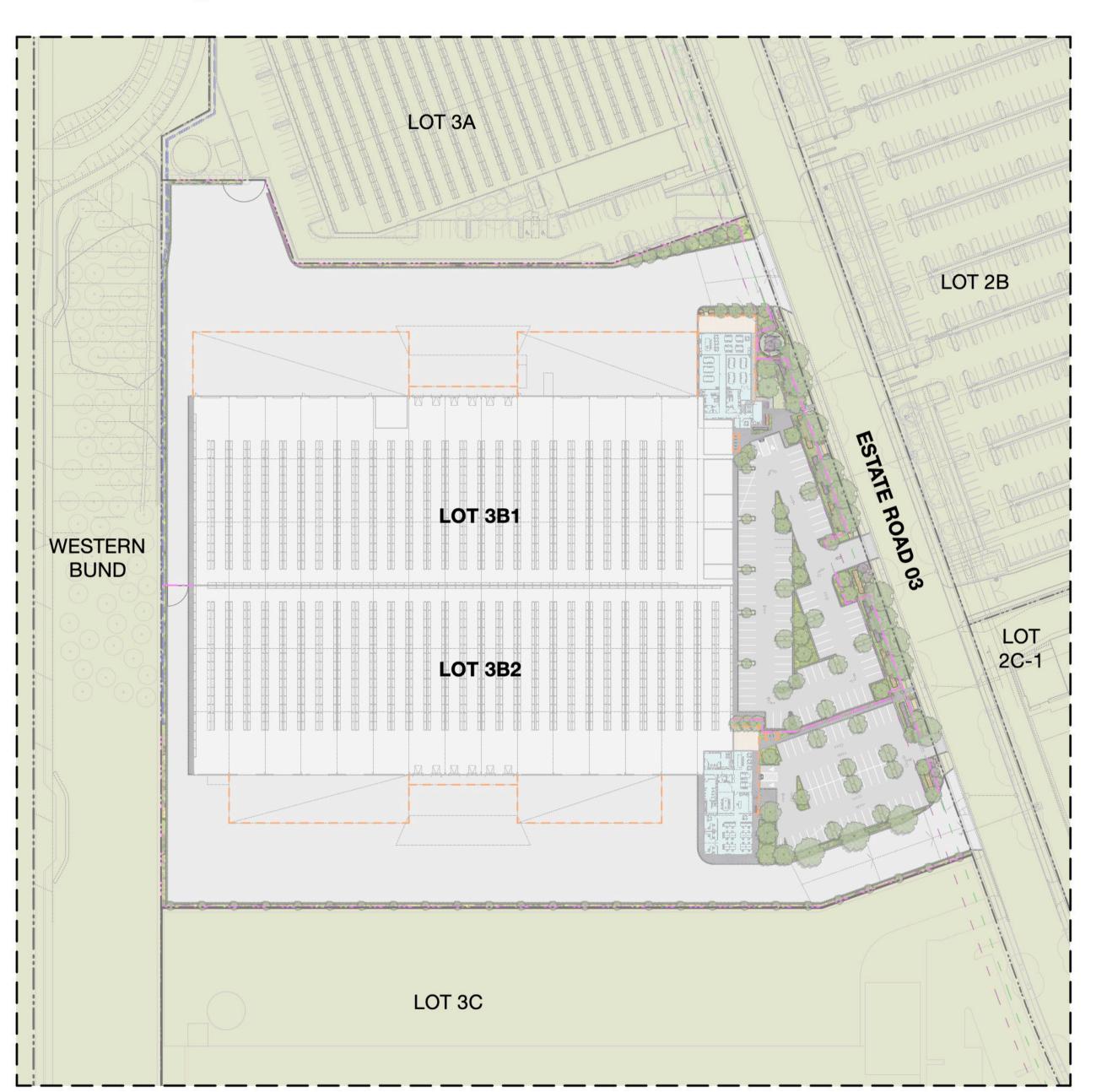




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LANDSCAPE ARCHITECTURE

Address

Suite 5, 15 The Corso Manly NSW 2095 02 9976 0756 office@scapedesign.com.au www.scapedesign.com.au

PROJECT

Oakdale West Estate Stage 5 - Lot 3B

Kemps Creek, NSW

CLIENT

Goodman Property Services (AUST) PTY LTD

TRANSMITTAL

Dwg. Number

wg. Number	Dwg. Name
.SK.00	Cover Sheet
.SK.01	Landscape Sketch Plan - Lot 3B
.SK.02	Planting Plan - Lot 3B
.SK.03	Planting Schedule - Lot 3B
.SK.04	Character & Materials
.SK.105	Landscape - Detailed Plan & Notes
.SK.200	Carpark Details
.SK.201	Landscape Sections Sheet 1
.SK.202	Landscape Sections Sheet 2
.SK.203	Landscape Sections Sheet 3

Draft - Not For Construction

Stage 5 DA - Lot 3B

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Cover Sheet

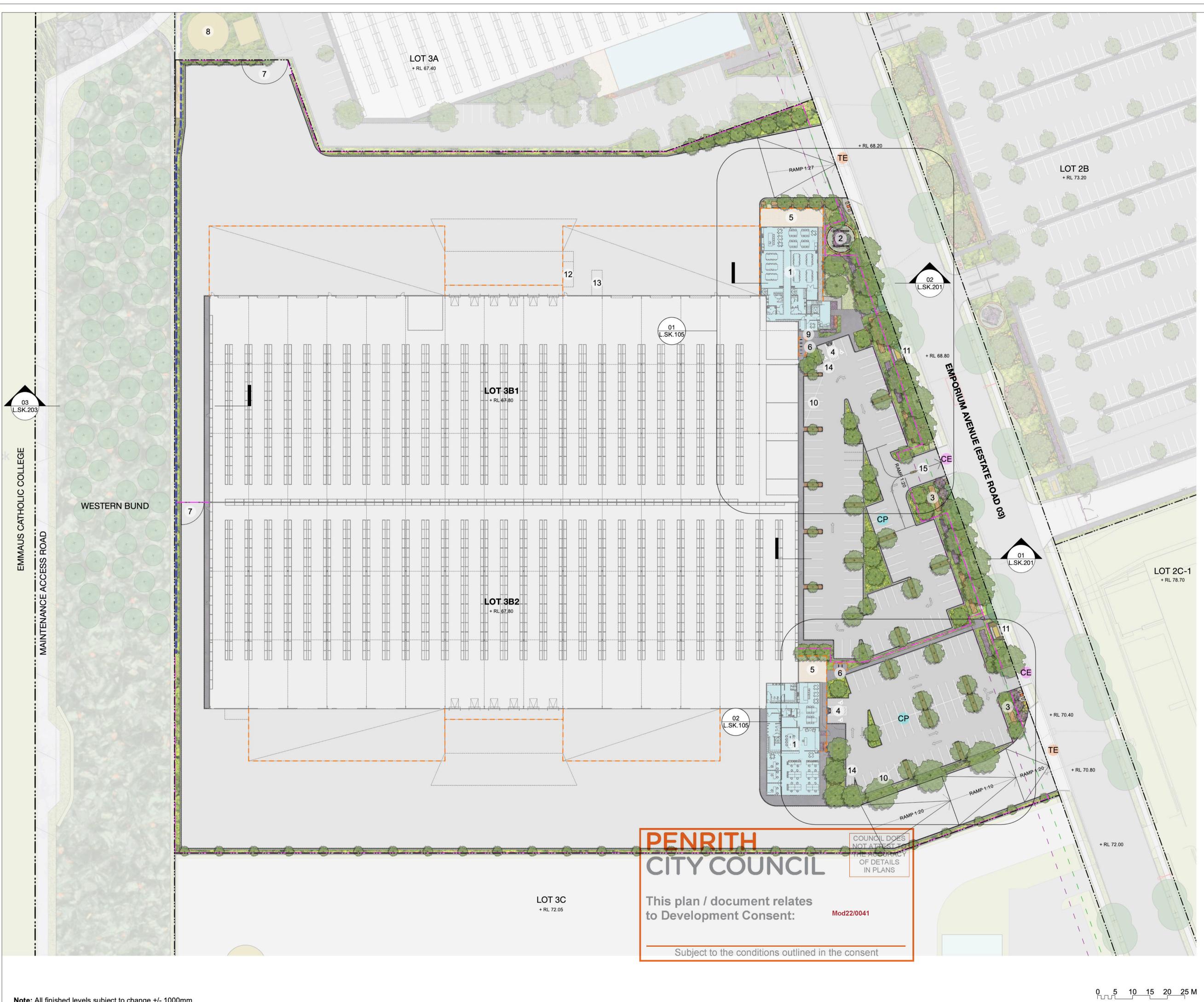
PHASE

Development Application Landscape Drawing Set

Revision

Date

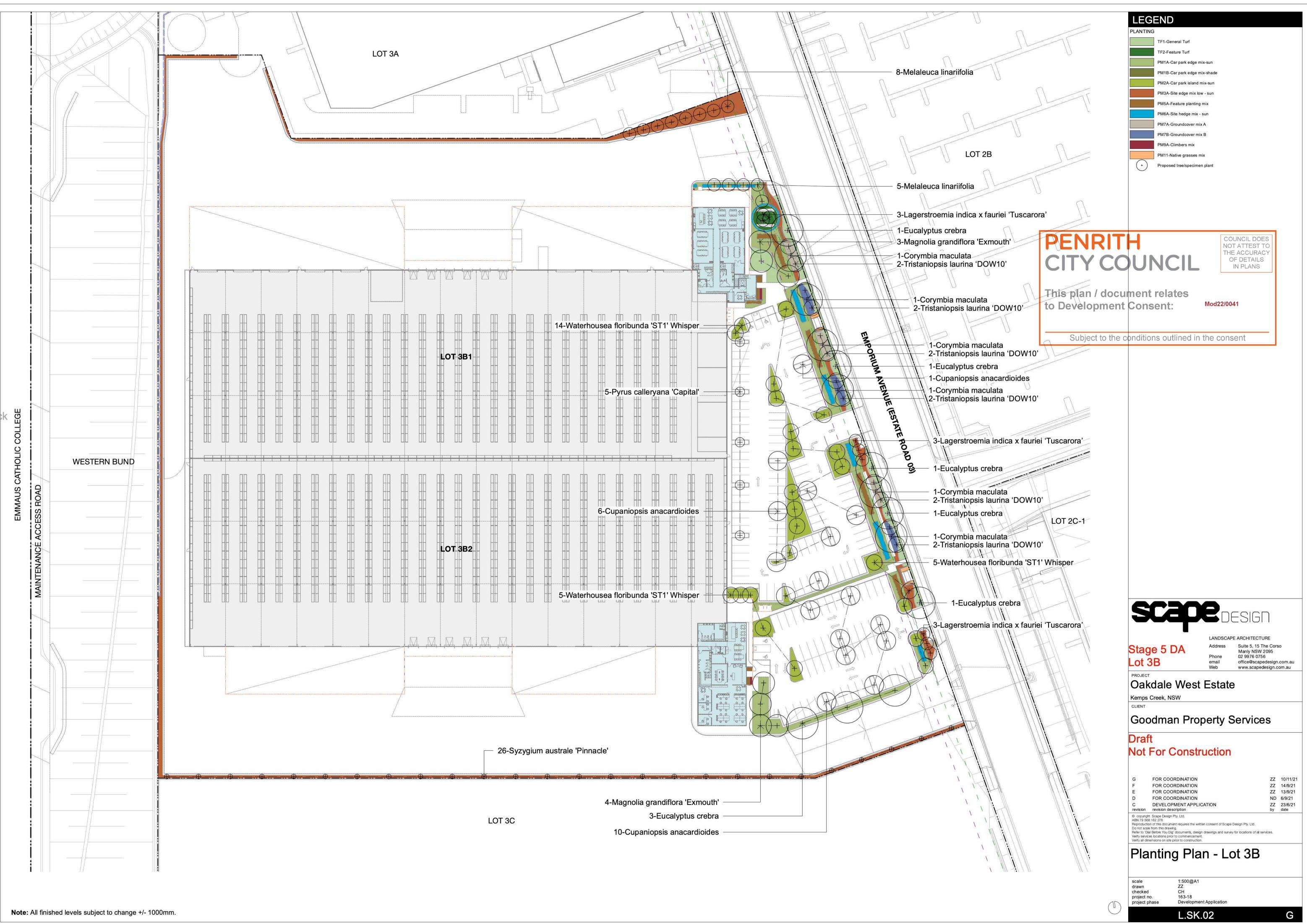
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Note: All finished levels subject to change +/- 1000mm.

LEGEND PAVEMENTS PROGRAMME Coarse Aggregate 1 Office 2 Entry Marker Asphaltic Concrete Decomposed Granite 3 Entry Feature Trees 4 Accessible Parking Insitu Concrete 5 Staff Rest Area Precast Concrete Stone Tiles 6 Covered bike shelter 7 Brigade Accessible Gate Feature paving 8 Fire Services Rock Swale Pram Ramp 9 Mechanical Plant Area FURNITURE & FITTINGS 3 x EV Charging Stations F with provision of 3 additional _____ stations in the future 10 Proposed Table Setting 11 Substation Kiosk Proposed Bicylce Rack 12 Gas Storage Area Proposed Street Lighting 13 Waste Storage Area Proposed Sleeper Mullion 14 Motorcycle parking Proposed Sandstone Block 15 Secured gate & intercom D Gate CE Car entry/exit Signage CP Proposed Seating Carparking Proposed Pergola TE Truck entry/exit GENERAL PLANTING Site Boundary TF1-General Turf Lot Boundary TF2-Feature Turf + FFL 52.00 Finished Floor Level PM1A-Car park edge mix-sun + RL 52.00 Reduced Level PM1B-Car park edge mix-shade - - - Architecture Above PM2A-Car park island mix-sun Chain Mesh Fence See. So PM2B-Car park island mix-shade Refer Arch. dwgs. Auto A Palisade Fence PM3A-Site edge mix - sun Refer Arch. dwgs. **Building Setback** PM3B-Site edge mix - shade -PM4-Site markers mix -----Landscape Setback Proposed Ramp PM5A-Feature planting mix-sun PREPARATION & GROUNDWORKS PM7A-Groundcover mix A o 1 23456 Proposed Stairs PM7B-groundcover mix B Building PM9A-Climbers mix Amenities Lo Services PM11-Native grasses mix dif. WALLS & EDGES Stage 1 Landscape Works les alles TREES Existing Retaining Wall EP3 _____ Steel Edge Existing Tree to be Retained Existing Tree to be Removed Refer ARBORISTS REPORT Flush Concrete Kerb S HA Raised Concrete Kerb Stage 1 Works - Proposed Tree Retaining Gabion Wall Proposed Tree - General Retaining Insitu Wall Proposed Tree - Entry Marker Steel Wall Noise Wall Proposed Tree - Site Marker SCADE DESIGN LANDSCAPE ARCHITECTURE Suite 5, 15 The Corso Manly NSW 2095 Stage 5 DA Address 02 9976 0756 Phone Lot 3B email Web office@scapedesign.com.au www.scapedesign.com.au PROJECT Oakdale West Estate Kemps Creek, NSW CLIENT Goodman Property Services Draft Not For Construction ZZ 10/11/21 ZZ 14/9/21 G FOR COORDINATION FOR COORDINATION F FOR COORDINATION ZZ 13/9/21 E FOR COORDINATION ND 6/9/21 D ZZ 23/6/21 by date DEVELOPMENT APPLICATION С revision revision description © copyright Scape Design Pty. Ltd. ABN 79 568 162 276 ABN 79 508 102 276 Reproduction of this document requires the written consent of Scape Design Pty. Ltd. Do not scale from this drawing. Refer to 'Dial Before You Dig' documents, design drawings and survey for locations of all services. Verify services locations prior to commencement. Verify all dimensions on site prior to construction. Landscape Sketch Plan -Lot 3B scale drawn checked project no. 1:500@A1 ZZ CH 163-18 project phase Development Application L.SK.01 G

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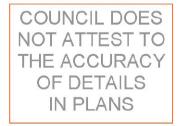
PLANTING SCHEDULE - LOT 3B

	Botanical Name	Common Name	Height (m)	Spread (m)	Pot Size	Rate (m2)	
Trees							
	Corymbia maculata	Spotted Gum	30.0	10.0	45L	As Shown	
	Cupaniopsis anacardioides	Tuckeroo	12.0	6.0	75L	As Shown	
	Eucalyptus crebra	Narrow leaved Ironbark	30.0	10.0	45L	As Shown	
	Lagerstroemia indica x fauriei 'Tuscarora'	Crepe Myrtle (Hot Pink)	8.0	4.0	200L	As Shown	
	Magnolia grandiflora 'Exmouth'	Bull Bay Magnolia	12.0	7.0	45L	As Shown	
	Melaleuca linariifolia	Snow-in-Summer	10.0	4.0	45L	As Shown	
	Pyrus calleryana 'Capital'	Capital Flowering Pear	10.0	3.0	45L	As Shown	
	Syzygium australe 'Pinnacle'	Pinnacle Lilly Pilly	6.0	1.5	45L	As Shown	
	Tristaniopsis laurina 'DOW10'	Water Gum	10.0	5.0	45L	As Shown	
	Waterhousea floribunda 'ST1' Whisper	Weeping Lilly Pilly	8.0	5.0	45L	As Shown	
PM1A -	Car Park Edge Mix - Sun					Area =	629 sq.m
	Callistemon viminalis 'Little John'	Little John Bottlebrush	0.6	0.8	140mm	4	
	Pennisetum alopecuroides 'Nafray'	Pennisetum Nafray	0.5	0.5	140mm	4	
	Trachelospermum jasminoides	Star Jasmine	0.9	0.3	140mm	4	
PM2A -	Car Park Island Mix - Sun					Area =	420 sq.m
	Gazania tomentosa	Silver Gazania	0.3	1.5	140mm	4	
	Nandina domestica 'Gulf Stream'	Dwarf Sacred Bamboo	0.8	0.8	140mm	4	
	Pennisetum alopecuroides 'Nafray'	Pennisetum Nafray	0.5	0.5	140mm	4	
PM3A -	Site Edge Mix Low - Sun					Area =	907 sq.m
1 1110/1	Callistemon 'Great Balls of Fire'	Bottlebrush	2.0	2.0	140mm	4	oor oq.m
	Callistemon 'White Anzac'	Bottlebrush	1.0	2.0	140mm	4	
	Gazania tomentosa	Silver Gazania	0.3	1.5	140mm	4	
	Pennisetum alopecuroides 'Nafray'	Pennisetum Nafray	0.5	0.5	140mm	4	
DM5A	Feature Planting Mix					Area =	96 sq.m
FINDA -	Doryanthes excelsa	Gymea Lily	2.0	1.5	200mm	Alea =	30 SQ.11
	Lorapetalum chinense rubrum 'China Pink'	Chinese Fringe Flower	1.5	1.5	200mm	4	
	Photinia x fraseri 'Red Robin'	Red Robin	3.0	2.0	200mm	4	
DMCA	Site Hedge Mix - Sun					Area =	96 sq.m
FINIDA -	Acmena smithii 'Fire Screen'	Creek Lilly Pilly	2.0	1.2	300mm	Area =	90 SQ.11
	Metrosideros collina 'Springfire'	NZ Christmas Bush	2.0	2.0	200mm	3	
	Metrosideros conina Springire Metrosideros thomasii	New Zealand Christmas Bush	4.0	2.0 4.0	200mm		
		Oriental Pearl Indian Hawthorn				3	
	Rhaphiolepis indica 'Oriental Pearl' Rhaphiolepis indica 'Snow Maiden'	Snow Maiden Indian Hawthorn	1.0 0.5	1.0 1.0	300mm 300mm	3 3	
	Rhaphiolepis indica Show Maiden	Show Malden Indian Hawthorn	0.5	1.0	30011111	3	
PM7A -	Groundcovers Mix A					Area =	71 sq.m
	Gazania tomentosa	Silver Gazania	0.3	1.5	140mm	4	
PM7B -	Groundcovers Mix B					Area =	67 sq.m
	Trachelospermum jasminoides 'tricolor'	Tricolor Star Jasmine	0.5	1.0	140mm	4	
PM9A -	Climbers Mix					Area =	7 sq.m
	Trachelospermum jasminoides	Star Jasmine	0.9	0.3	140mm	4	
DM4 4	Native Creases Mire					A	11 00 -
PM11 -	Native Grasses Mix	Purple Wire Creat	4.0	10	70	Area =	11 sq.m
	Aristida ramosa	Purple Wire Grass	1.2	1.0	70mm	4	
	Lomandra longifolia	Spiny-headed Mat-Rush	0.8	1.0	70mm	4	
	Poa labillardieri	Tussock Grass	1.3	0.7	70mm	4	
TF1 - G	eneral Turf	Ole Makes D. K. I.			T. (D. "	Area =	238 sq.m
	Stenotaphrum secundatum 'Sir Walter'	Sir Walter Buffalo			Turf Roll		
TF2 - F	eature Turf (Planted)					Area =	42 sq.m
	Zoysia tenuifolia	No-Mow Grass/Velvet Grass			140mm	5	

NOTE:

 Mass planting to be undertaken in large groupings of the same species to approval of landscape architect.
 Hedging species are to be set out in linear arrangements of same species to approval of landscape architect. 3. All planting and turf areas to be irrigated with subsurface drip line. Refer to the Oakdale West Estate Landscape Management Plan and Goodman Landscape Guidelines for further information

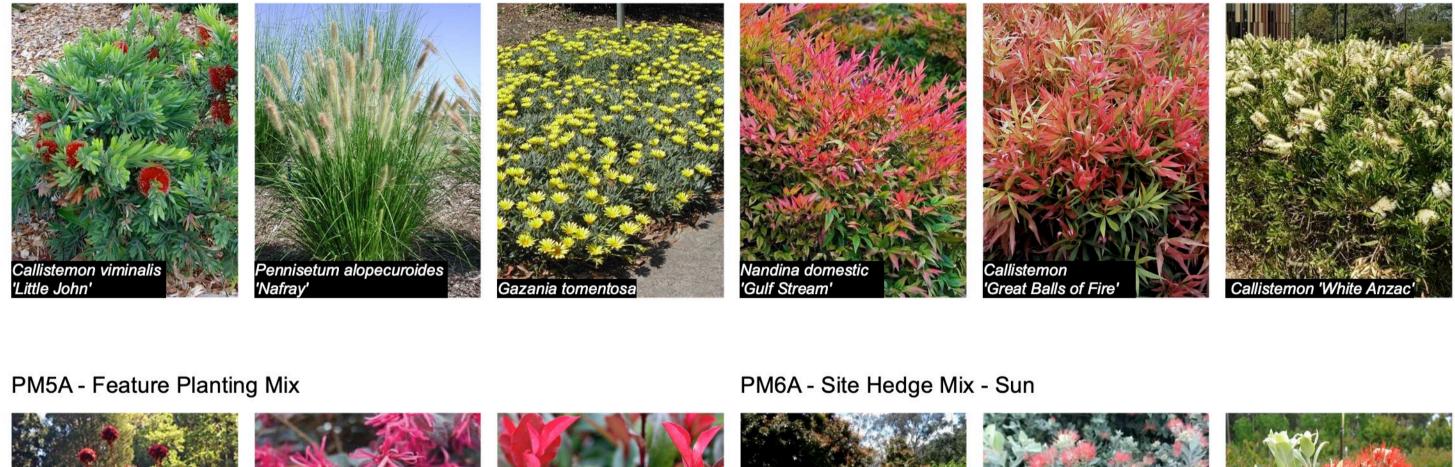




This plan / document relates to Development Consent:

Mod22/0041

Subject to the conditions outlined in the consent









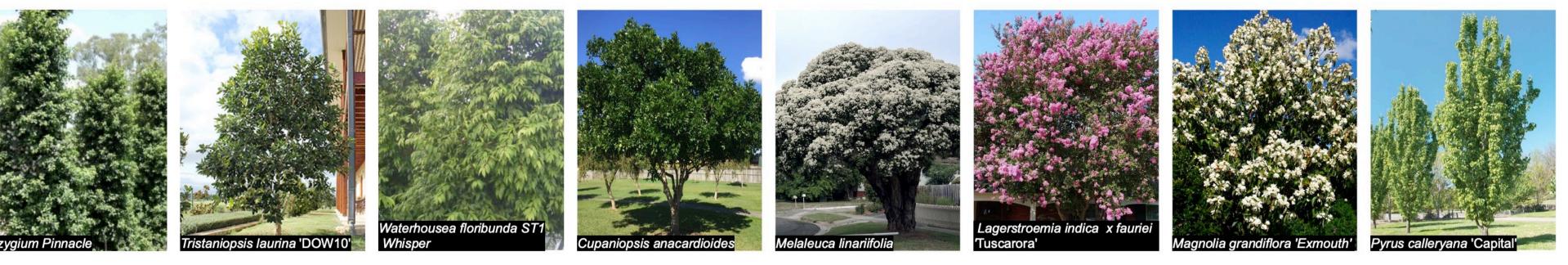


PLANTING PALETTE

Note: All finished levels subject to change +/- 1000mm.

Buffer Trees

Car Park Trees



PM1A - Car Park Edge Mix - Sun

PM2A - Car Park Island Mix - Sun

PM3A - Site Edge Mix Low - Sun





PM7A - Groundcovers PM7B - Groundcovers PM9A - Climbers Mix PM11 - Native Grasses Mix





TF2 - Feature Turf

Feature Trees

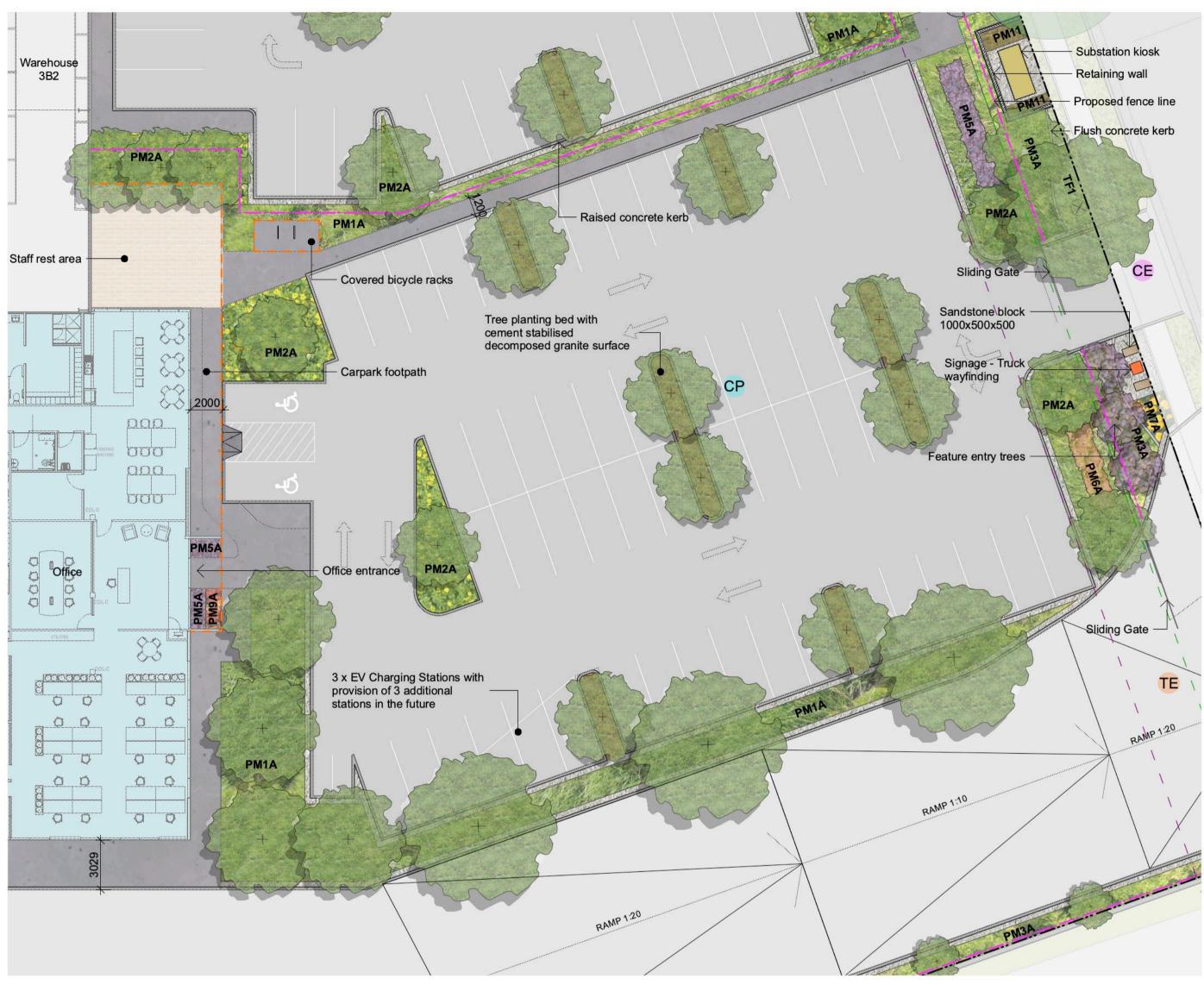








Note: All finished levels subject to change +/- 1000mm.



Lot 3B2 Office and Carpark Detail Plan - Scale 1:200 @ A1

02

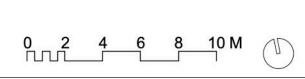
Landscape Design Statement - Lot 3B Development Application

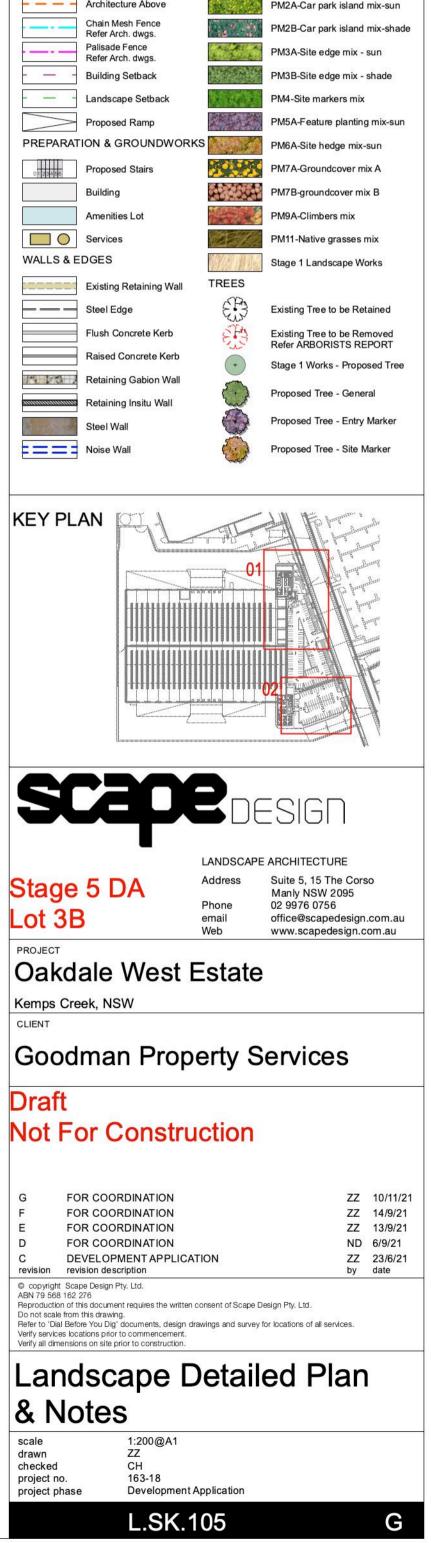
The landscape design prepared for Oakdale West Estate – Lot 3B, aims to expand on previous individual lot design within Oakdale West, reinforcing a consistent and robust landscape character, adhering to the high standard this development aims to achieve. The design aims to address the key objectives of the NSW Planning Greener Places and Urban Tree Canopy Guidelines, as well as relevant Penrith City Council guidelines, in terms of maximising tree planting to mitigate heat island effects caused by large expanses of pavement and to screen built form. Lot 3B will incorporate over 100 native and exotic trees in order to address these requirements.

Permeable surfaces comprising vegetation, low maintenance turf and gravel, will be maximised in order to reduce run-off. Plant typologies implemented are to be low maintenance and drought resistant, ensuring all new landscaped areas are water sensitive and tolerant of the harsh Western Sydney climate. Lot 3B falls under Stage 5 of construction, which will already see the completion of the vegetated bund along the Western edge of the estate. This vegetated bund provides large amounts of visual screening, particularly to the sensitive receivers in the West. In addition, a noise wall has been installed along the boundary during the Stage 1 works. This will be accompanied by screening vegetation on both sides of the wall, in order to further soften built elements within the Estate.

The generous landscape setbacks within Precinct 3 will foster a clustered, yet dense approach to tree planting, with native species, which is consistent with the Precinct 1 and 2 design. This will provide visual screening to the immediate neighbours of the site, users of internal roads and footpaths, as well as longer range views. When combined with the proposed estate streetscape design, large, meaningful strips of canopy trees with mass planting of shrubs and groundcovers will form a dense vegetative screen for the development. Once within the site, tall feature trees help define the building edge and reinforce the main pedestrian entry points. Landscape topography and interest will also be provided through feature entry mounds and markers where possible, which are used at precinct nodes and driveway entry points to establish a network of wayfinding features. These elements reference the cultural history of the site through their materiality and form.

Overall, the planting palette aspires to balance council environmental and planning requirements, while also staying consistent to the high-quality Goodman landscape identity that is reflected throughout their estates both in Oakdale and more broadly in Western Sydney. With Goodman taking ownership of the landscape maintenance and on-going care of all landscape areas within Oakdale West Estate, the health and function both during the establishment period and beyond, will be carefully monitored and driven towards a successful and robust outcome.



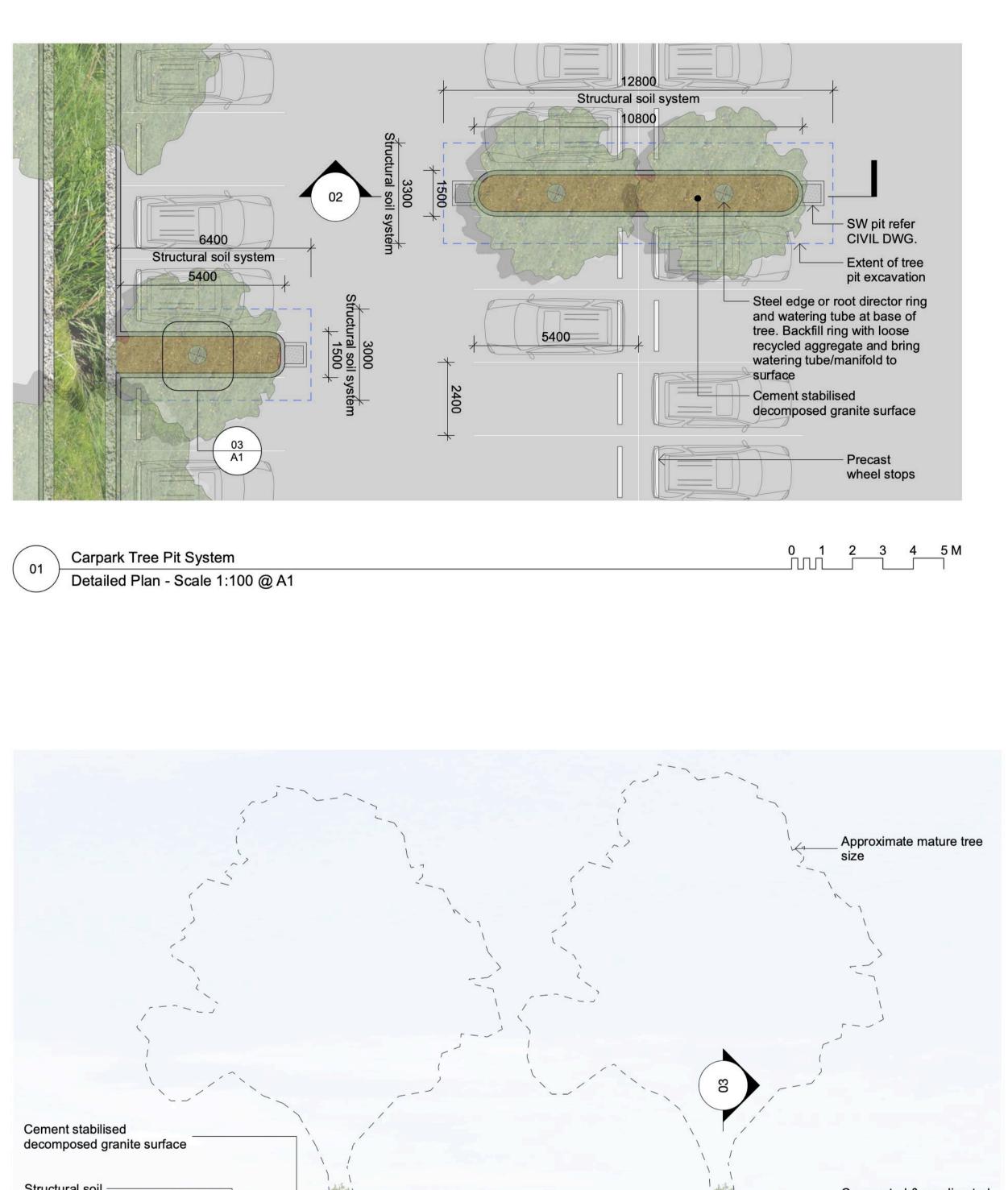


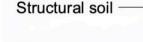
	PROGRAMME		PAVEMENTS	
	1	Office	1 Van de	Coarse Aggregate
	2	Entry Marker		Asphaltic Concrete
	3	Entry Feature Trees		Decomposed Granite
	4	Accessible Parking		Insitu Concrete
	5	Staff Rest Area	11202	Precast Concrete
	6	Covered bike shelter		Stone Tiles
	7	Brigade Accessible Gate		Feature paving
	8	Fire Services	語。第	Rock Swale
	9	Mechanical Plant Area		Pram Ramp
	10	3 x EV Charging Stations with provision of 3 additional stations in the future		E & FITTINGS Proposed Table Setti
	11	Substation Kiosk		Proposed Bicylce Ra
	12	Gas Storage Area		Proposed Street Ligh
	13	Waste Storage Area	-	Proposed Sleeper Mi
2	14	Motorcycle parking		Proposed Sandstone
	15	Secured gate & intercom		Gate
	CE	Car entry/exit		Signage
	CP	Carparking		Proposed Seating
	TE	Truck entry/exit		Proposed Pergola
	GENERAL		PLANTING	
		Site Boundary		TF1-General Turf
		Lot Boundary		TF2-Feature Turf
	+ FFL 52.00	Finished Floor Level		PM1A-Car park edge
2012	+ RL 52.00	Reduced Level		PM1B-Car park edge
8		Architecture Above	11 A	PM2A-Car park islan
		Chain Mesh Fence Refer Arch. dwgs.		PM2B-Car park island
	·	Palisade Fence Refer Arch. dwgs.	E E E	PM3A-Site edge mix
8		Building Setback	and shares	PM3B-Site edge mix
		Landscape Setback		PM4-Site markers mi
	\land	Proposed Ramp		PM5A-Feature planting
	PREPARAT	ION & GROUNDWORKS	The second	PM6A-Site hedge mix
	0123456	Proposed Stairs		PM7A-Groundcover
		Building		PM7B-groundcover n
3		Amenities Lot		PM9A-Climbers mix
		Services		PM11-Native grasses
	WALLS & E	DGES	With Mary	Stage 1 Landscape V
2		Existing Retaining Wall	TREES	
8		Steel Edge	E13	Existing Tree to be R
		Flush Concrete Kerb	E.E.S	Existing Tree to be R Refer ARBORISTS R
		Raised Concrete Kerb	+	Stage 1 Works - Prop
	14 1 A 1	Retaining Gabion Wall	3	Proposed Tree - Gen
		Retaining Insitu Wall	5	
	Ser Star	Steel Wall		Proposed Tree - Entr
	====	Noise Wall	Cirt .	Proposed Tree - Site

LEGEND

ola urf urf k edge mix-sun cedge mix-shade k island mix-sun

Granite ete e Setting Ice Rack et Lighting per Mullion dstone Block





SW pit refer CIVIL DWG.

3000 -----Root barrier lining or structural edge 0 Ag-line drainage connected to sw 5400 5400 Carpark Carpark 12800

Structure soil system

Carpark Tree Pit System Detailed Section - Scale 1:50 @ A1

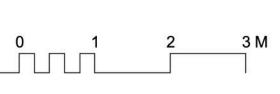
Note: All finished levels subject to change +/- 1000mm.

02

Compacted & ameliorated site subsoil

Imported topsoil





MATERIALS SCHEDULE Description Volume SOIL STRUCTURE SYSTEM Type 1 - Soil Structure System 3000x6400mm 307.2 m3 Paving-Soil Structure System Type 1 307.2 Type 3 - Soil Structure System 3300x12800mm 42.2 m3 Paving-Soil Strucutre System Type 3 42.2 Type 4 - Soil Structure System Triangle Islands 182.3 m3 Paving-Soil Strucutre System Type 4 182.3

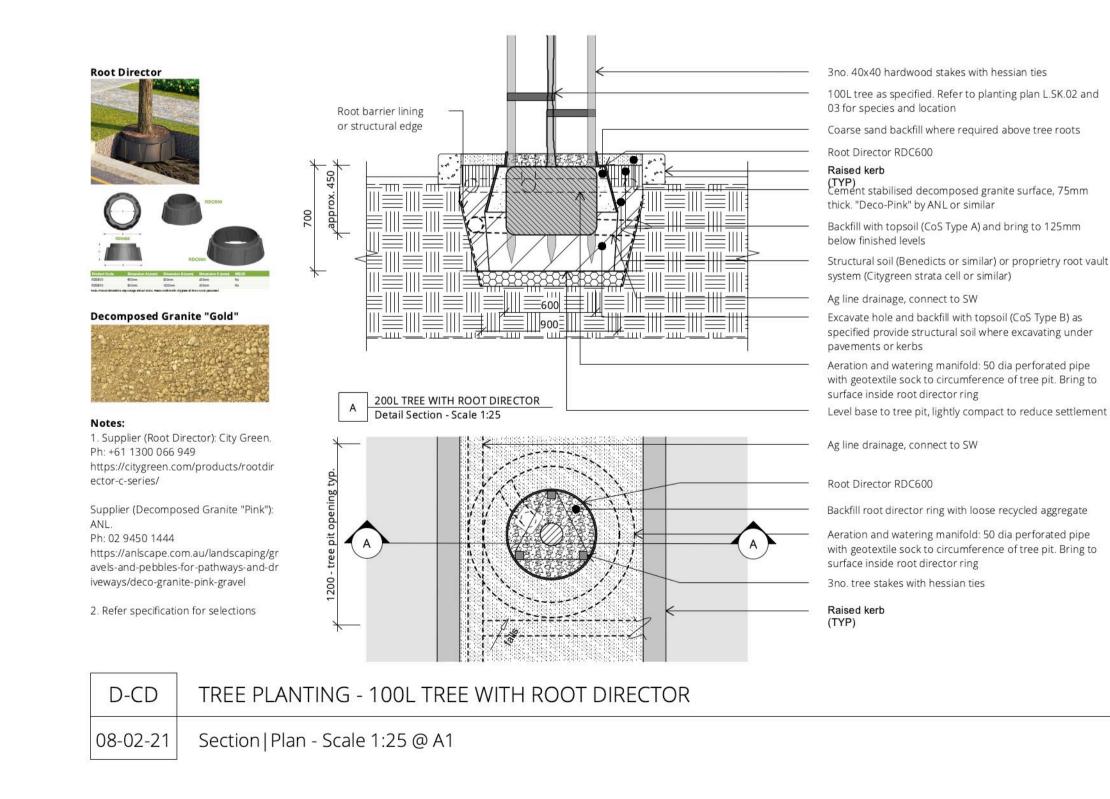
> Total Volume 531.7 m3

NOTES:

Full width of excavated tree pit (3000-3300 W x 6000-12800 W x 1000 D) to be back filled with imported topsoil, ameliorated site soil and structural soil. Provide a minimum of 15m3 of topsoil per tree in car park island beds.



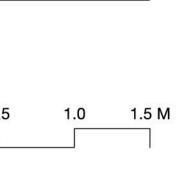
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Carpark Island Tree 03

Detail - Scale 1:25 @ A1

0 0.5



with geotextile sock to circumference of tree pit. Bring to

specified provide structural soil where excavating under

Structural soil (Benedicts or similar) or proprietry root vault

