



PENRITH CITY COUNCIL

This plan / document relates to Development Consent: **Mod22/0041**

Subject to the conditions outlined in the consent

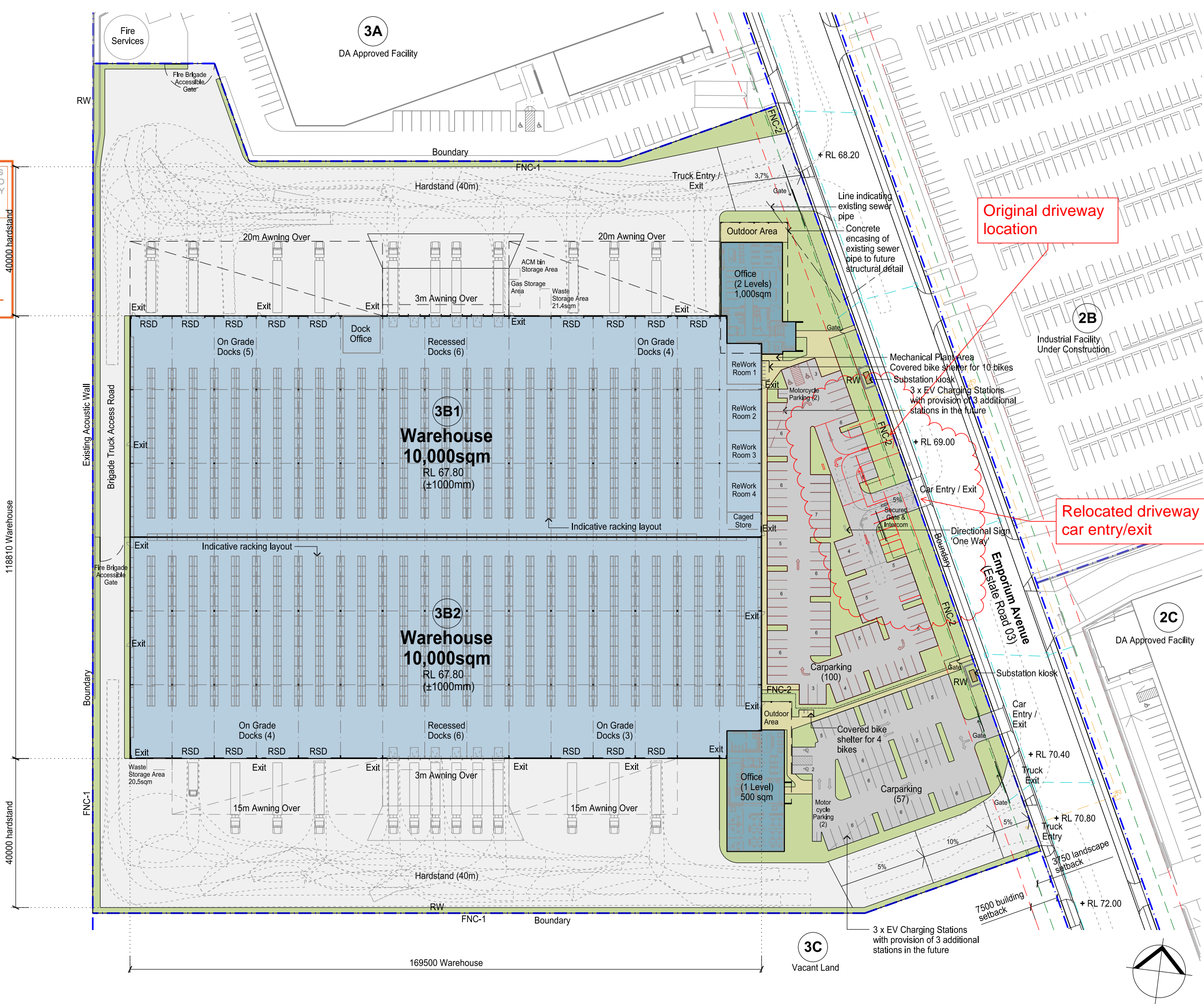
COUNCIL DOES NOT ATTEST TO THE ACCURACY OF DETAILS IN PLANS

Legend

- Site Boundary
- Lot Boundary
- Building 7.5m Setback (For Estate Road Only)
- Landscape 3.75m Setback (For Estate Road Only)
- FNC-1 Chainwire Fencing
- FNC-2 Palisade Fencing
- RW Retaining Wall

Development Area Schedule

Site Area	46,198 sqm
Warehouse 3B-1 (Inclusive of Dock Office & Labs)	10,000 sqm
Warehouse 3B-2	10,000 sqm
Office 3B-1 (2 levels)	1,000 sqm
Office 3B-2 (1 level)	500 sqm
Total Building Area	21,500 sqm
Awning	4,215 sqm
Site Cover (exc. awning)	47 %
Floor Space Ratio	0.47 : 1
Hardstand Area	15,910 sqm
Light Duty Area	4,045 sqm
Fire Track Area	772 sqm
Carparking 3B-1 (Inclusive of 2 disabled spaces and 3 x EV Charging Stations with provision of 3 additional stations in the future)	100
Carparking 3B-2 (Inclusive of 2 disabled spaces and 3 x EV Charging Stations with provision of 3 additional stations in the future)	57
Motorcycle Parking	4



Oakdale West Estate
Kemps Creek, NSW

PROPOSED INDUSTRIAL FACILITY LOT 3B
Development Application

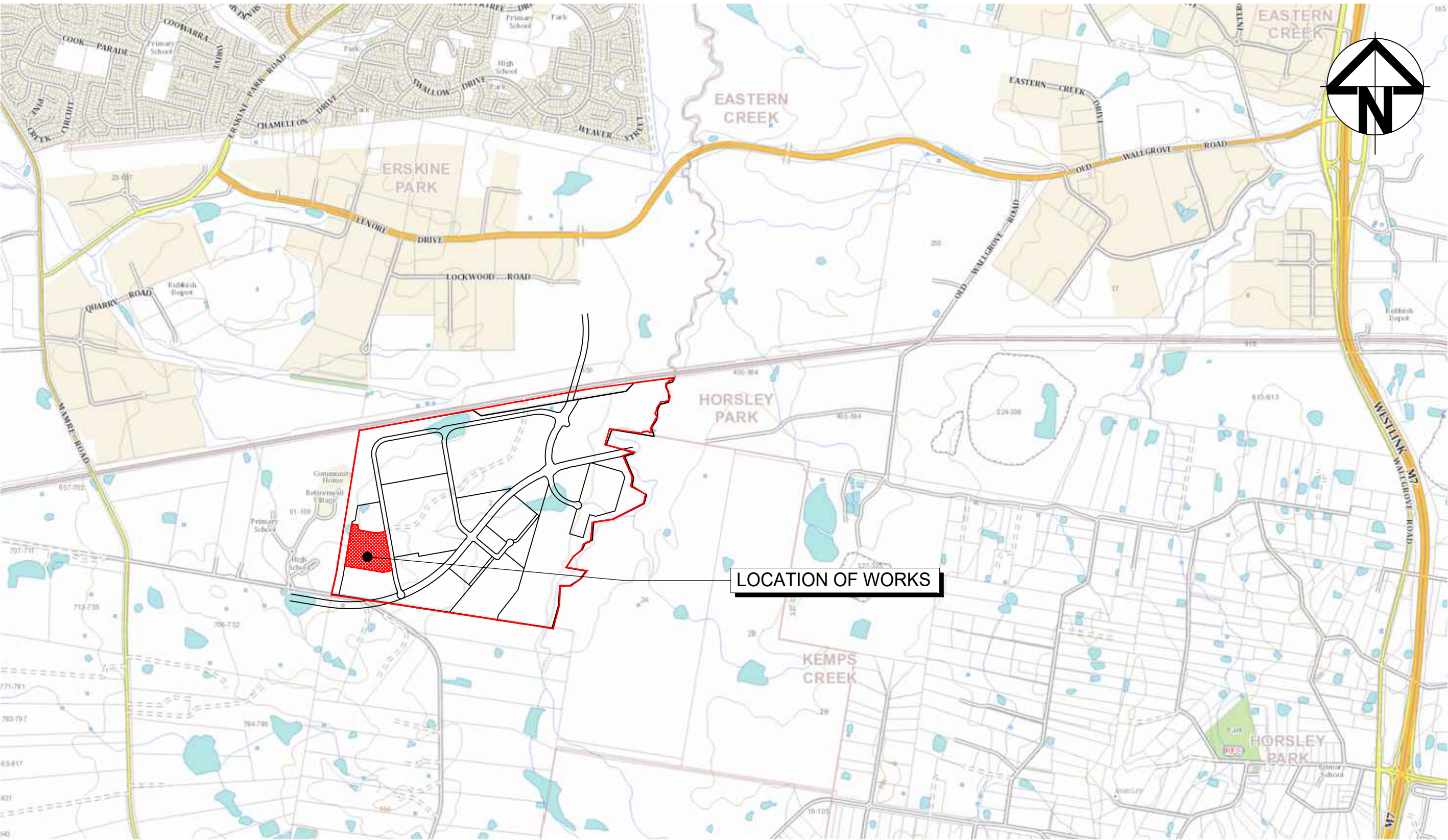
Site & Warehouse Plan

1:500 @ A1
1:1000 @ A3
19 September 2021

OAK 3B DA 20 (L)
Job No 21116

OAKDALE WEST
7400-SERIES LOT 3B
CIVIL WORKS PACKAGE
DEVELOPMENT APPLICATION

DRAWING No.	DRAWING TITLE
15-272-C7400	COVER SHEET DRAWING LIST LOCALITY PLAN
15-272-C7401	GENERAL NOTES
15-272-C7405	GENERAL ARRANGEMENT
15-272-C7410	TYPICAL SECTIONS SHEET 1
15-272-C7411	TYPICAL SECTIONS SHEET 2
15-272-C7415	BULK EARTHWORKS PLAN
15-272-C7420	SITEWORKS AND STORMWATER DRAINAGE PLAN SHEET 1
15-272-C7421	SITEWORKS AND STORMWATER DRAINAGE PLAN SHEET 2
15-272-C7422	SITEWORKS AND STORMWATER DRAINAGE PLAN SHEET 3
15-272-C7423	SITEWORKS AND STORMWATER DRAINAGE PLAN SHEET 4
15-272-C7430	PAVEMENT PLAN
15-272-C7440	EROSION AND SEDIMENT CONTROL PLAN
15-272-C7441	EROSION AND SEDIMENT DETAILS



LOCALITY PLAN
NTS

Bar Scales

Issue	Description	Date
A	ISSUED FOR APPROVAL	31/05/21
P1	ISSUED FOR DRAFT	21/05/21

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Status	FOR APPROVAL	A1
NOT TO BE USED FOR CONSTRUCTION		

Scales	15-272-C7400.dwg	
	Drawn	JC
	Designed	JC
Height Datum	AHD	Checked GB
Grid	MGA	Approved FX

Client

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Project

PROPOSED INDUSTRIAL
DEVELOPMENT
OAKDALE WEST - LOT 3B

Title

COVER SHEET
DRAWING LIST
LOCALITY PLAN

Drawing No.	Project No.	Issue
15-272-C7400	15-272	A

SITEWORKS NOTES

1. ORIGIN OF LEVELS:- REFER SURVEY NOTES.
2. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND EXISTING LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES TO BE REPORTED TO AT & L.
3. MAKE SMOOTH CONNECTION WITH EXISTING WORKS.
4. ALL TRENCH BACKFILL MATERIAL SHALL BE COMPACTED TO THE SAME DENSITY AS THE ADJACENT MATERIAL.
5. ALL SERVICE TRENCHES UNDER VEHICULAR PAVEMENTS SHALL BE BACKFILLED WITH SAND TO 300mm ABOVE PIPE. WHERE PIPE IS UNDER PAVEMENTS BACKFILL REMAINDER OF TRENCH TO UNDERSIDE OF PAVEMENT WITH SAND OR APPROVED GRANULAR MATERIAL. COMPACTED IN 150mm LAYERS TO MINIMUM 98% MODIFIED MAXIMUM DRY DENSITY IN ACCORDANCE WITH AS 1289 5.2.1. (OR A DENSITY INDEX OF NOT LESS THAN 75)
6. PROVIDE 10mm WIDE EXPANSION JOINTS BETWEEN BUILDINGS AND ALL CONCRETE OR UNIT PAVEMENTS.
7. ASPHALTIC CONCRETE SHALL CONFORM TO R.M.S SPECIFICATION R116.
8. ALL BASECOURSE MATERIAL SHALL BE IGNEOUS ROCK QUARRIED MATERIAL TO COMPLY WITH R.M.S FORM 3051 (UNBOUND), R.M.S FORM 3052 (BOUND) COMPACTED TO MINIMUM 98% MODIFIED DENSITY IN ACCORDANCE WITH AS 1289 5.2.1. FREQUENCY OF COMPACTION TESTING SHALL NOT BE LESS THAN 1 TEST PER 50m OF BASECOURSE MATERIAL PLACED.
9. ALL SUB-BASE COURSE MATERIAL SHALL BE IGNEOUS ROCK QUARRIED MATERIAL TO COMPLY WITH R.M.S FORM 3051, 3051.1 AND COMPACTED TO MINIMUM 95% MODIFIED DENSITY IN ACCORDANCE WITH A.S 1289 5.2.1. FREQUENCY OF COMPACTION TESTING SHALL NOT BE LESS THAN 1 TEST PER 50m OF SUB-BASE COURSE MATERIAL PLACED.
10. AS AN ALTERNATIVE TO THE USE OF IGNEOUS ROCK AS A SUB-BASE MATERIAL IN (9) A CERTIFIED RECYCLED CONCRETE MATERIAL COMPLYING WITH R.M.S FORM 3051 AND 3051.1 WILL BE CONSIDERED. SUBJECT TO MATERIAL SAMPLES AND APPROPRIATE CERTIFICATIONS BEING PROVIDED TO THE SATISFACTION OF AT & L.
11. SHOULD THE CONTRACTOR WISH TO USE A RECYCLED PRODUCT THE CONTRACTOR IS TO SEEK ACCEPTANCE OF THE PRODUCT FROM AT&L. THE PRICE DIFFERENCE BETWEEN AN IGNEOUS PRODUCT AND A RECYCLED PRODUCT SHALL BE CLEARLY INDICATED.
12. WHERE NOTED ON THE DRAWINGS THAT WORKS ARE TO BE CARRIED BY OTHERS, (eg. ADJUSTMENT OF SERVICES), THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CO-ORDINATION OF THESE WORKS.

SURVEY NOTES

THE EXISTING SITE CONDITIONS SHOWN ON THE FOLLOWING DRAWINGS HAVE BEEN INVESTIGATED BY CARDNO HARD & FORESTER PTY LTD, BEING REGISTERED SURVEYORS. THE INFORMATION IS SHOWN TO PROVIDE A BASIS FOR DESIGN. AT & L DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE SURVEY BASE OR ITS SUITABILITY AS A BASIS FOR CONSTRUCTION DRAWINGS.

SHOULD DISCREPANCIES BE ENCOUNTERED DURING CONSTRUCTION BETWEEN THE SURVEY DATA AND ACTUAL FIELD DATA, CONTACT AT & L.

THE FOLLOWING NOTES HAVE BEEN TAKEN DIRECTLY FROM THE ORIGINAL SURVEY DOCUMENTS.

IMPORTANT NOTE:
THIS PLAN IS PREPARED FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE. THE TITLE BOUNDARIES SHOWN HEREON WERE NOT MARKED BY THE AUTHOR AT THE TIME OF SURVEY AND HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY AND NOT BY FIELD MEASUREMENT.

A SERVICES SEARCH OF THE AREA SURVEYED ABOVE HAS NOT BEEN UNDERTAKEN. VISIBLE SERVICES SHOWN HEREON HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATIONS OF ALL SERVICES. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN.

EXISTING UNDERGROUND SERVICES NOTES

THE LOCATIONS OF UNDERGROUND SERVICES SHOWN IN THIS SET OF DRAWINGS HAVE BEEN PLOTTED FROM SURVEY INFORMATION AND SERVICE AUTHORITY INFORMATION. THE SERVICE INFORMATION HAS BEEN PREPARED ONLY TO SHOW THE APPROXIMATE POSITIONS OF ANY KNOWN SERVICES AND MAY NOT BE AS CONSTRUCTED OR ACCURATE.

AT & L CAN NOT GUARANTEE THAT THE SERVICES INFORMATION SHOWN ON THESE DRAWINGS ACCURATELY INDICATES THE PRESENCE OR ABSENCE OF SERVICES OR THEIR LOCATION AND WILL ACCEPT NO LIABILITY FOR INACCURACIES IN THE SERVICES INFORMATION SHOWN FROM ANY CAUSE WHATSOEVER.

CONTRACTORS SHALL TAKE DUE CARE WHEN EXCAVATING ONSITE INCLUDING HAND EXCAVATION WHERE NECESSARY.

CONTRACTORS ARE TO CONTACT THE RELEVANT SERVICE AUTHORITY PRIOR TO COMMENCEMENT OF EXCAVATION WORKS.

CONTRACTORS ARE TO UNDERTAKE A SERVICES SEARCH, PRIOR TO COMMENCEMENT OF WORKS ON SITE. SEARCH RESULTS ARE TO BE KEPT ON SITE AT ALL TIMES.



CONTRACTOR SHALL CALL;
DIAL BEFORE YOU DIG 1100
PRIOR TO COMMENCEMENT OF WORK TO OBTAIN ALL CURRENT SERVICE AUTHORITY PLANS

CONCRETE NOTES

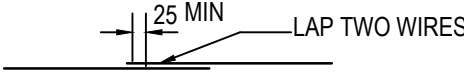
1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3600 CURRENT EDITION WITH AMENDMENTS, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
2. CONCRETE QUALITY
ALL REQUIREMENTS OF THE CURRENT ACSE CONCRETE SPECIFICATION DOCUMENT 1 SHALL APPLY TO THE FORMWORK, REINFORCEMENT AND CONCRETE UNLESS NOTED OTHERWISE.

ELEMENT	AS 3600 Fc MPa AT 28 DAYS	SPECIFIED SLUMP	NOMINAL AGG. SIZE
VEHICULAR BASE	32	60	20
KERBS, PATHS, AND PITS	25	80	20

- CEMENT TYPE SHALL BE (ACSE SPECIFICATION) TYPE SL
- PROJECT CONTROL TESTING SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 1373.

3. NO ADMIXTURES SHALL BE USED IN CONCRETE UNLESS APPROVED IN WRITING BY AT & L.
4. CLEAR CONCRETE COVER TO ALL REINFORCEMENT FOR DURABILITY SHALL BE 40mm TOP AND 70mm FOR EXTERNAL EDGES UNLESS NOTED OTHERWISE.
5. ALL REINFORCEMENT SHALL BE FIRMLY SUPPORTED ON MILD STEEL PLASTIC TIPPED CHAIRS, PLASTIC CHAIRS OR CONCRETE CHAIRS AT NOT GREATER THAN 1m CENTRES BOTH WAYS. BARS SHALL BE TIED AT ALTERNATE INTERSECTIONS.
6. THE FINISHED CONCRETE SHALL BE A DENSE HOMOGENEOUS MASS, COMPLETELY FILLING THE FORMWORK, THOROUGHLY EMBEDDING THE REINFORCEMENT AND FREE OF STONE POCKETS. ALL CONCRETE INCLUDING SLABS ON GROUND AND FOOTINGS SHALL BE COMPACTED AND CURED IN ACCORDANCE WITH R.M.S SPECIFICATION R83.
7. REINFORCEMENT SYMBOLS:
N DENOTES GRADE 450 N BARS TO AS 1302 GRADE N
R DENOTES 230 R HOT ROLLED PLAIN BARS TO AS 1302
SL DENOTES HARD-DRAWN WIRE REINFORCING FABRIC TO AS 1304
- NUMBER OF BARS IN GROUP BAR GRADE AND TYPE
NOMINAL BAR SIZE in mm SPACING in mm
THE FIGURE FOLLOWING THE FABRIC SYMBOL SL IS THE REFERENCE NUMBER FOR FABRIC TO AS 1304.

8. FABRIC SHALL BE LAPPED IN ACCORDANCE WITH THE FOLLOWING DETAIL:



KERBING NOTES

1. ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 25 MPa U.N.O IN REINFORCED CONCRETE NOTES.
2. ALL KERBS, GUTTERS, DISH DRAINS AND CROSSINGS TO BE CONSTRUCTED ON MIN. 100mm GRANULAR BASECOURSE COMPACTED TO MINIMUM 95% MODIFIED DRY DENSITY (AS 1289 5.2.1).
3. EXPANSION JOINTS (E.J.) TO BE FORMED FROM 10mm COMPRESSIBLE CORK FILLER BOARD FOR THE FULL DEPTH OF THE SECTION AND CUT TO PROFILE. EXPANSION JOINTS TO BE LOCATED AT DRAINAGE PITS, ON TANGENT POINTS OF CURVES AND ELSEWHERE AT MAX 12m CENTRES EXCEPT FOR INTEGRAL KERBS WHERE THE EXPANSION JOINTS ARE TO MATCH THE JOINT LOCATIONS IN THE SLABS.
4. WEAKENED PLANE JOINTS TO BE MIN 3mm WIDE AND LOCATED AT 3m CENTRES EXCEPT FOR INTEGRAL KERBS WHERE THE WEAKENED PLANE JOINTS ARE TO MATCH THE JOINT LOCATIONS IN THE SLABS.
5. BROOMED FINISH TO ALL RAMPED AND VEHICULAR CROSSINGS. ALL OTHER KERBING OR DISH DRAINS TO BE STEEL FLOAT FINISHED.
6. IN THE REPLACEMENT OF KERB AND GUTTER :-
EXISTING ROAD PAVEMENT IS TO BE SAWCUT 900mm U.N.O FROM THE LIP OF GUTTER. UPON COMPLETION OF THE NEW KERB AND GUTTER NEW BASECOURSE AND SURFACE TO BE LAID 900mm WIDE U.N.O.

EXISTING ALLOTMENT DRAINAGE PIPES ARE TO BE BUILT INTO THE NEW KERB AND GUTTER WITH 100mm DIA HOLE.

EXISTING KERB AND GUTTER IS TO BE COMPLETELY REMOVED WHERE NEW KERB AND GUTTER IS SHOWN.

FINISHED SURFACE LEVELS

1. ALL FINISHED SURFACE LEVELS ARE ±500mm U.N.O.

STORMWATER DRAINAGE NOTES

1. STORMWATER DESIGN CRITERIA:
(A) AVERAGE REQUIREMENT INTERVAL:
1:10 YEARS MAJOR STORM (OVERLAND FLOW)
1:20 YEARS MINOR STORM (PIPED NETWORK)
(B) RAINFALL INTENSITIES:
TIME OF CONCENTRATION: 5 MINUTES
1:100 YEARS= 219 mm/hr
1:20 YEARS= 167 mm/hr
(C) RUNOFF COEFFICIENTS:
ROOF AREAS: C 100 =1.0
EXTERNAL PAVEMENTS: C 100 =1.0
2. PIPES 300 DIA. AND LARGER TO BE REINFORCED CONCRETE CLASS '2' APPROVED SPIGOT AND SOCKET WITH RUBBER RING JOINTS. U.N.O.
3. PIPES UP TO 300 DIA SHALL BE SEWER GRADE uPVC WITH SOLVENT WELDED JOINTS.
4. EQUIVALENT STRENGTH VCP OR FRC PIPES MAY BE USED, SUBJECT TO THE APPROVAL OF PENRITH CITY COUNCIL.
5. ALL STORMWATER DRAINAGE LINES UNDER PROPOSED BUILDING SLABS TO BE uPVC PRESSURE PIPE GRADE 6. ENSURE ALL VERTICALS AND DOWNPIPES ARE uPVC PRESSURE PIPE, GRADE 6 FOR A MIN OF 3.0m IN HEIGHT.
6. PIPES TO BE INSTALLED TO TYPE HS1 SUPPORT IN ACCORDANCE WITH AS 3725 (2007) IN ALL CASES BACKFILL TRENCH WITH SAND TO 300mm ABOVE PIPE. WHERE PIPE IS UNDER PAVEMENTS BACKFILL REMAINDER OF TRENCH TO UNDERSIDE OF PAVEMENT WITH SAND OR APPROVED GRANULAR MATERIAL COMPACTED IN 150mm LAYERS TO MINIMUM 98% STANDARD MAXIMUM DRY DENSITY IN ACCORDANCE WITH AS 1289 5.2.1. (OR A DENSITY INDEX OF NOT LESS THAN 75)
7. ALL INTERNAL WORKS WITHIN PROPERTY BOUNDARIES ARE TO COMPLY WITH THE REQUIREMENTS OF AS 3500 3.1 (1998) AND AS/NZS 3500 3.2 (1998).
8. PRECAST PITS MAY BE USED EXTERNAL TO THE BUILDING SUBJECT TO APPROVAL BY AT & L.
9. ENLARGERS, CONNECTIONS AND JUNCTIONS TO BE PREFABRICATED FITTINGS WHERE PIPES ARE LESS THAN 300 DIA.
10. WHERE SUBSOIL DRAINS PASS UNDER FLOOR SLABS AND VEHICULAR PAVEMENTS, UNSLOTTED uPVC SEWER GRADE PIPE IS TO BE USED.
11. CARE IS TO BE TAKEN WITH LEVELS OF STORMWATER LINES. GRADES SHOWN ARE NOT TO BE REDUCED WITHOUT APPROVAL.
12. GRATES AND COVERS SHALL CONFORM TO AS 3996.
13. AT ALL TIMES DURING CONSTRUCTION OF STORMWATER PITS, ADEQUATE SAFETY PROCEDURES SHALL BE TAKEN TO ENSURE AGAINST THE POSSIBILITY OF PERSONNEL FALLING DOWN PITS.
14. ALL EXISTING STORMWATER DRAINAGE LINES AND PITS THAT ARE TO REMAIN ARE TO BE INSPECTED AND CLEANED. DURING THIS PROCESS ANY PART OF THE STORMWATER DRAINAGE SYSTEM THAT WARRANTS REPAIR SHALL BE REPORTED TO THE SUPERINTENDENT/ENGINEER FOR FURTHER DIRECTIONS.

EROSION AND SEDIMENT CONTROL NOTES

GENERAL INSTRUCTIONS

1. THE SITE SUPERINTENDENT/ENGINEER WILL ENSURE THAT ALL SOIL AND WATER MANAGEMENT WORKS ARE LOCATED AS DOCUMENTED.
2. ALL WORK SHALL BE GENERALLY CARRIED OUT IN ACCORDANCE WITH
a. LOCAL AUTHORITY REQUIREMENTS
b. EPA REQUIREMENTS
c. NSW DEPARTMENT OF HOUSING MANUAL "MANAGING URBAN STORMWATER, SOILS AND CONSTRUCTION", 4th EDITION, MARCH 2004.
3. MAINTAIN THE EROSION CONTROL DEVICES TO THE SATISFACTION OF THE SUPERINTENDENT AND THE LOCAL AUTHORITY.
4. WHEN STORMWATER PITS ARE CONSTRUCTED, PREVENT SITE RUNOFF ENTERING UNLESS SEDIMENT FENCES ARE ERECTED AROUND PITS.
5. CONTRACTOR IS TO ENSURE ALL EROSION & SEDIMENT CONTROL DEVICES ARE MAINTAINED IN GOOD WORKING ORDER AND OPERATE EFFECTIVELY. REPAIRS AND OR MAINTENANCE SHALL BE UNDERTAKEN AS REQUIRED, PARTICULARLY FOLLOWING STORM EVENTS.

LAND DISTURBANCE

6. WHERE PRACTICAL, THE SOIL EROSION HAZARD ON THE SITE WILL BE KEPT AS LOW AS POSSIBLE. TO THIS END, WORKS SHOULD BE UNDERTAKEN IN THE FOLLOWING SEQUENCE:
(A) INSTALL A WIND FENCE ALONG THE BOUNDARIES AS SHOWN ON PLAN. REFER DETAIL.
(B) INSTALL A SEDIMENT FENCE ALONG THE BOUNDARIES AS SHOWN ON PLAN. REFER DETAIL.
(C) CONSTRUCT STABILISED CONSTRUCTION ENTRANCE TO LOCATION AS DETERMINED BY SUPERINTENDENT/ENGINEER. REFER DETAIL.
(D) INSTALL SEDIMENT BASIN AS SHOWN ON PLAN.
(E) INSTALL SEDIMENT TRAPS AS SHOWN ON PLAN.
(F) UNDERTAKE SITE DEVELOPMENT WORKS IN ACCORDANCE WITH THE ENGINEERING PLANS. WHERE POSSIBLE, PHASE DEVELOPMENT SO THAT LAND DISTURBANCE IS CONFINED TO AREAS OF WORKABLE SIZE.

EROSION CONTROL

7. DURING WINDY WEATHER, LARGE, UNPROTECTED AREAS WILL BE KEPT MOIST (NOT WET) BY SPRINKLING WITH WATER TO KEEP DUST UNDER CONTROL.
8. FINAL SITE LANDSCAPING WILL BE UNDERTAKEN AS SOON AS POSSIBLE AND WITHIN 20 WORKING DAYS FROM COMPLETION OF CONSTRUCTION ACTIVITIES.

SEDIMENT CONTROL

9. STOCKPILES WILL NOT BE LOCATED WITHIN 2 METRES OF HAZARD AREAS, INCLUDING LIKELY AREAS OF CONCENTRATED OR HIGH VELOCITY FLOWS SUCH AS WATERWAYS. WHERE THEY ARE BETWEEN 2 AND 5 METRES FROM SUCH AREAS, SPECIAL SEDIMENT CONTROL MEASURES SHOULD BE TAKEN TO MINIMISE POSSIBLE POLLUTION TO DOWNSLOPE WATERS, E.G. THROUGH INSTALLATION OF SEDIMENT FENCING.
10. ANY SAND USED IN THE CONCRETE CURING PROCESS (SPREAD OVER THE SURFACE) WILL BE REMOVED AS SOON AS POSSIBLE AND WITHIN 10 WORKING DAYS FROM PLACEMENT.
11. WATER WILL BE PREVENTED FROM ENTERING THE PERMANENT DRAINAGE SYSTEM UNLESS IT IS RELATIVELY SEDIMENT FREE, I.E. THE CATCHMENT AREA HAS BEEN PERMANENTLY LANDSCAPED AND/OR ANY LIKELY SEDIMENT HAS BEEN FILTERED THROUGH AN APPROVED STRUCTURE.
12. TEMPORARY SOIL AND WATER MANAGEMENT STRUCTURES WILL BE REMOVED ONLY AFTER THE LANDS THEY ARE PROTECTING ARE REHABILITATED.

OTHER MATTERS

13. ACCEPTABLE RECEPTORS WILL BE PROVIDED FOR CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT-WEIGHT WASTE MATERIALS AND LITTER.
14. ANY EXISTING TREES WHICH FORM PART OF THE FINAL LANDSCAPING PLAN WILL BE PROTECTED FROM CONSTRUCTION ACTIVITIES BY:
(A) PROTECTING THEM WITH BARRIER FENCING OR SIMILAR MATERIALS INSTALLED OUTSIDE THE DRIP LINE
(B) ENSURING THAT NOTHING IS NAILED TO THEM
(C) PROHIBITING PAVING, GRADING, SEDIMENT WASH OR PLACING OF STOCKPILES WITHIN THE DRIP LINE EXCEPT UNDER THE FOLLOWING CONDITIONS.
(I) ENCROACHMENT ONLY OCCURS ON ONE SIDE AND NO CLOSER TO THE TRUNK THAN EITHER 1.5 METRES OR HALF THE DISTANCE BETWEEN THE OUTER EDGE OF THE DRIP LINE AND THE TRUNK, WHICH EVER IS THE GREATER
(II) A DRAINAGE SYSTEM THAT ALLOWS AIR AND WATER TO CIRCULATE THROUGH THE ROOT ZONE (E.G. A GRAVEL BED) IS PLACED UNDER ALL FILL LAYERS OF MORE THAN 300 MILLIMETRES DEPTH
(III) CARE IS TAKEN NOT TO CUT ROOTS UNNECESSARILY NOR TO COMPACT THE SOIL AROUND THEM.

STAGING

SUITABLE EROSION AND SEDIMENT CONTROLS SHALL BE DESIGNED, PROVIDED AND MAINTAINED BY THE CONTRACTOR THROUGHOUT ALL STAGES OF WORKS, INCLUDING AT COMPLETION OF THE BULK EARTHWORKS WHERE SHOWN ON AT&L DRAWINGS OR WHERE DIRECTED BY THE SUPERINTENDENT OR PENRITH CITY COUNCIL'S ENGINEERS.
SEDIMENT AND EROSION CONTROLS ARE TO BE DESIGNED AND DOCUMENTED BY A SUITABLY QUALIFIED EXPERT ENGAGED BY THE CONTRACTOR AND APPROVED AS PART OF THE CONSTRUCTION ENVIRONMENTAL MANAGEMENT PLAN PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SUCH CONTROLS SHALL BE IN ACCORDANCE WITH THE RELEVANT REQUIREMENTS IN THE LATEST VERSION OF THE MANAGING URBAN STORMWATER: SOILS AND CONSTRUCTION GUIDELINE (LANDCOM).

Bar Scales

A	ISSUED FOR APPROVAL	31/05/21
P1	ISSUED FOR DRAFT	21/05/21

Issue	Description	Date
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Civil Engineers and Project Managers

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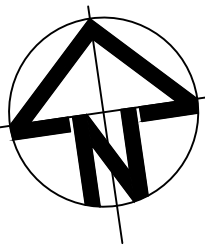
Project

PROPOSED INDUSTRIAL DEVELOPMENT
OAKDALE WEST - LOT 3B

Title

GENERAL NOTES

Drawing No.	Project No.	Issue
15-272-C7401	15-272	A



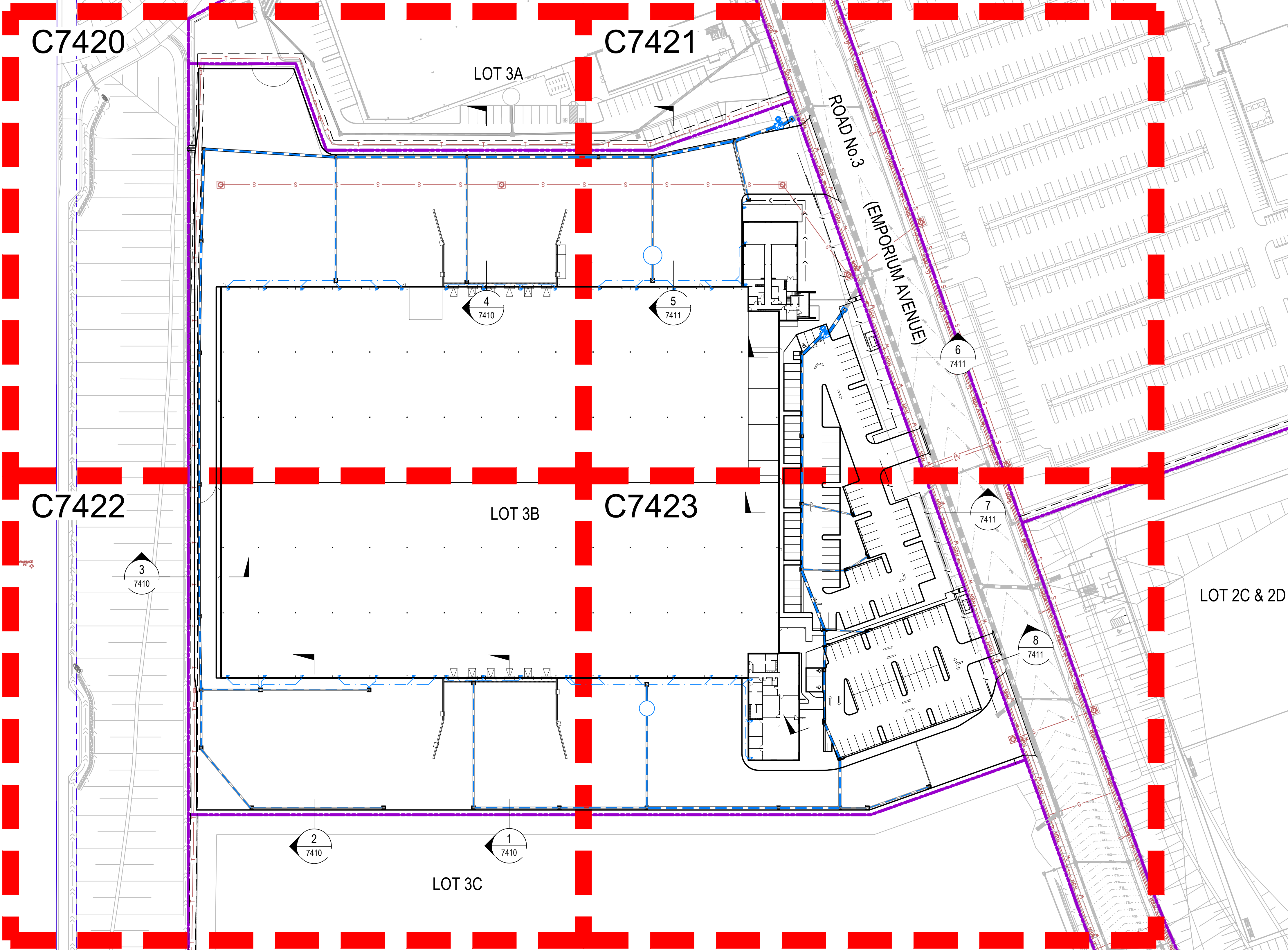
**PENRITH
CITY COUNCIL**

COUNCIL DOES
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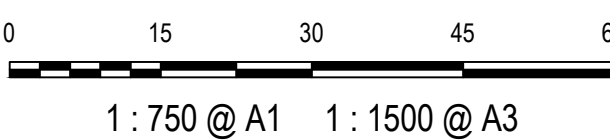
This plan / document relates
to Development Consent:

Mod22/0041

Subject to the conditions outlined in the consent



Bar Scales



C	ISSUED FOR APPROVAL	12/11/21
B	ISSUED FOR APPROVAL	28/09/21
A	ISSUED FOR APPROVAL	31/05/21
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Height Datum	AHD	Designed	JC
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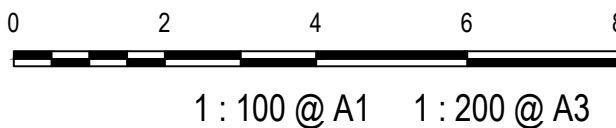
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Project
**PROPOSED INDUSTRIAL
DEVELOPMENT
OAKDALE WEST - LOT 3B**

Title
GENERAL ARRANGEMENT

Drawing No.	Project No.	Issue
15-272-C7405	15-272	C

Bar Scales



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Project
**PROPOSED INDUSTRIAL
DEVELOPMENT
OAKDALE WEST - LOT 3B**

Title
**TYPICAL SECTIONS
SHEET 1**

Drawing No.	Project No.	Issue
15-272-C7410	15-272	C

SECTION 1
1 : 100
C7405, C7422

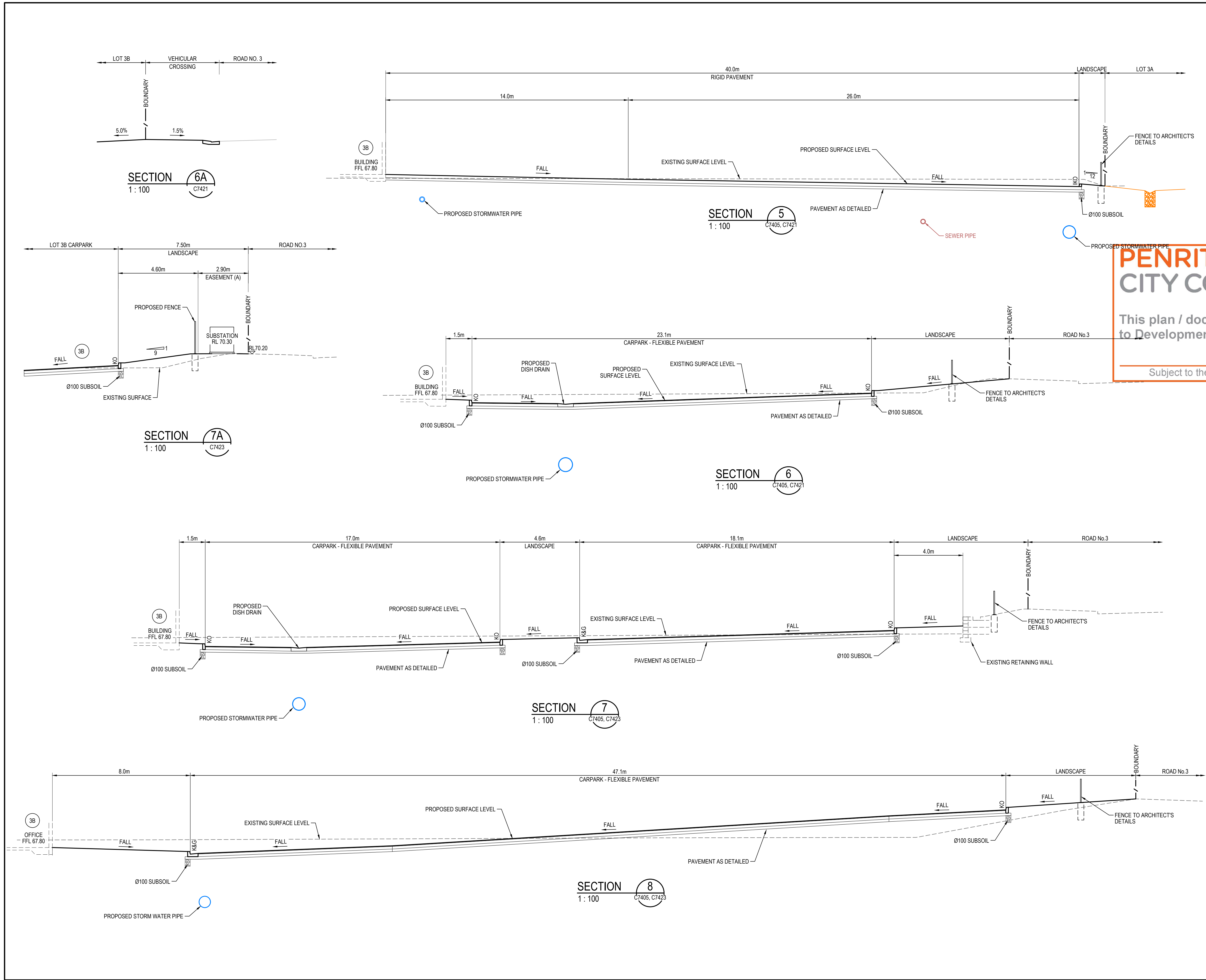
SECTION 2
1 : 100
C7405, C7422

SECTION 5A
1 : 100
C7421

SECTION 5B
1 : 100
C7421

SECTION 4
1 : 100
C7405, C7420

SECTION 3
1 : 100
C7405, C7422



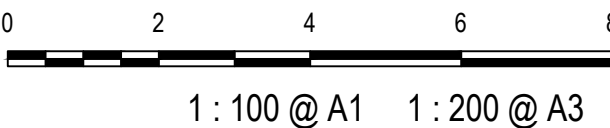
PENRITH
CITY COUNCIL

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to Development Consent:

Mod22/0041

Subject to the conditions outlined in the consent

Bar Scales



C	ISSUED FOR APPROVAL	12/11/21
B	ISSUED FOR APPROVAL	28/09/21
A	ISSUED FOR APPROVAL	31/05/21
P1	ISSUED FOR DRAFT	21/05/21

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Status
FOR APPROVAL
NOT TO BE USED FOR CONSTRUCTION
A1

Scales	1 : 100	15-272-C7411.dwg	
		Drawn	JC
Height Datum	AHD	Designed	JC
		Checked	GB
Grid	MGA	Approved	FX

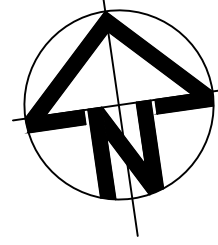
Client
Goodman

Civil Engineers and Project Managers
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North Sydney NSW 2060
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Tel: 02 9439 1777
Fax: 02 9923 1055
www.atl.net.au
info@atl.net.au

Project
**PROPOSED INDUSTRIAL
DEVELOPMENT
OAKDALE WEST - LOT 3B**

Title
**TYPICAL SECTIONS
SHEET 2**

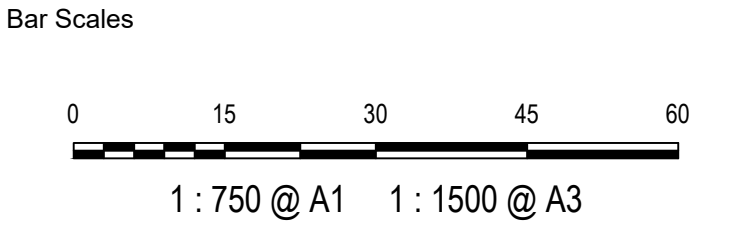
Drawing No. 15-272-C7411	Project No. 15-272	Issue C
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CUT/FILL DEPTH RANGE LEGEND		
Lower_value	Upper_value	Colour
-100	to -4.0	m
-4.0	to -3.5	m
-3.5	to -3.0	m
-3.0	to -2.5	m
-2.5	to -2.0	m
-2.0	to -1.5	m
-1.5	to -1.0	m
-1.0	to -0.5	m
-0.5	to 0.0	m
0.0	to 0.5	m
0.5	to 1.0	m
1.0	to 1.5	m
1.5	to 2.0	m
2.0	to 2.5	m
2.5	to 3.0	m
3.0	to 3.5	m
3.5	to 4.0	m
4.0	to 100	m

NET CUT (cu.m)	NET FILL (cu.m)	BALANCE (cu.m)
-3,739	4,591	852 IMPORT

- NOTES
- THE ABOVE VOLUMES ARE CALCULATED WITH THE ASSUMPTION THAT THE INFRASTRUCTURE WORKS ARE COMPLETED. REFER 15-272-C1000 SERIES DRAWING PACKAGE FOR DETAILS.
 - THE VOLUMES DO NOT TAKE INTO ACCOUNT THE FOLLOWING :
 - BULKING FACTORS OF REMOVED CUT
 - REMOVAL OF EXISTING BUILDING SLABS AND PAVEMENTS
 - REMOVAL AND/OR REMEDIATION OF ANY EXISTING UNCONTROLLED FILL
 - PROPOSED LANDSCAPING
 - STORMWATER AND UTILITY TRENCHING
 - EROSION AND SEDIMENTATION CONTROL SWALES AND BASINS
 - ASSUMED PAVEMENT/BUILDING BUILDUPS ARE BASED ON THE FOLLOWING DEPTHS:
 - HEAVY DUTY RIGID PAVEMENT: 280mm
 - ASPHALT PAVEMENT: 330mm
 - BUILDING: 310mm
 - TANK/PUMP ROOMS: 250mm
 - FOOTPATH: 150mm



C	ISSUED FOR APPROVAL	12/11/21
B	ISSUED FOR APPROVAL	28/09/21
A	ISSUED FOR APPROVAL	31/05/21
P1	ISSUED FOR DRAFT	21/05/21

Issue	Description	Date
-------	-------------	------

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		Drawn	JC
		Designed	JC
Height Datum	AHD	Checked	GB
Grid	MGA	Approved	FX



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info@atl.net.au

Project

**PROPOSED INDUSTRIAL DEVELOPMENT
OAKDALE WEST - LOT 3B**

Title

BULK EARTHWORKS PLAN

Drawing No.	Project No.	Issue
15-272-C7415	15-272	C

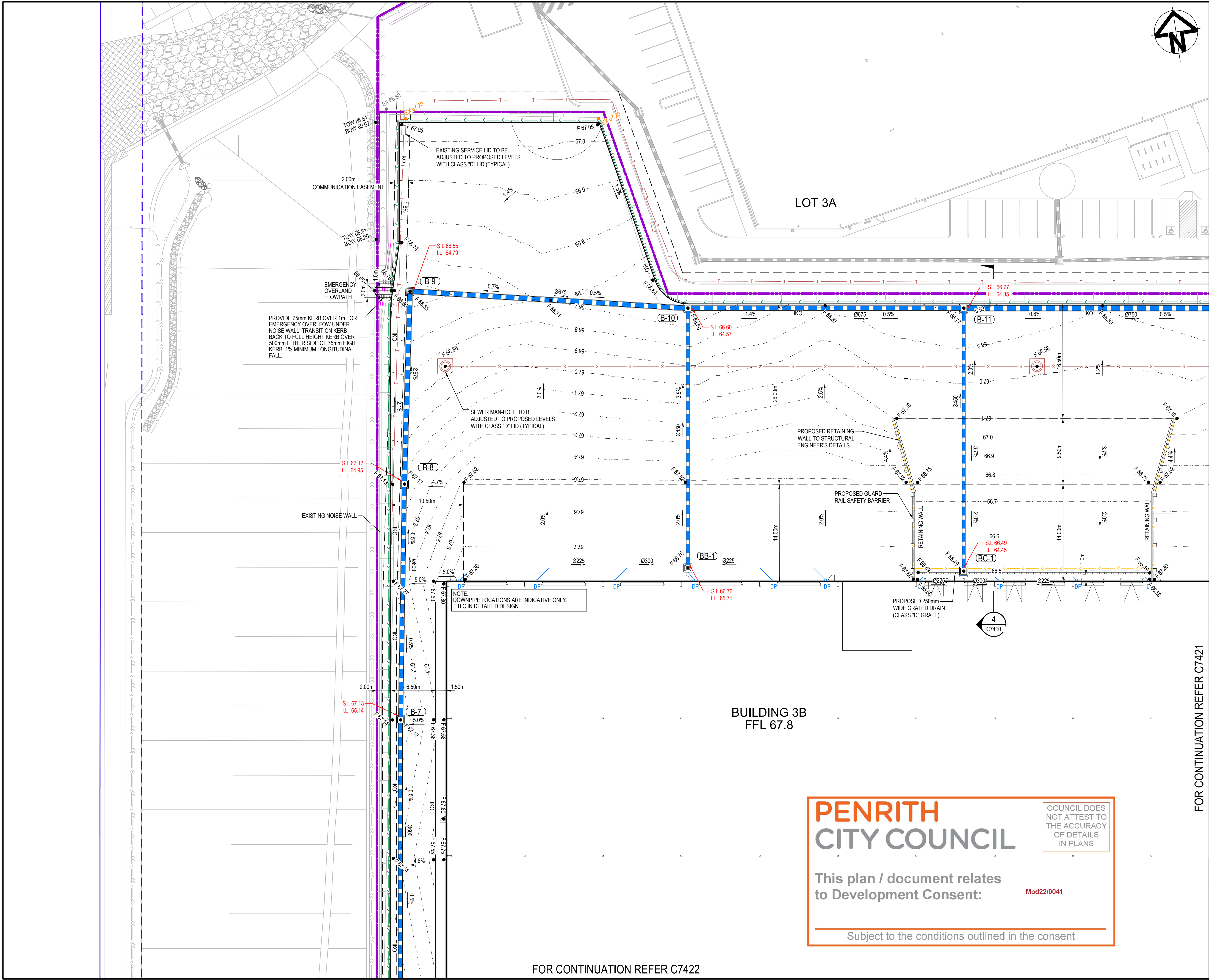
**PENRITH
CITY COUNCIL**

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This plan / document relates to Development Consent:

Mod22/0041

Subject to the conditions outlined in the consent



LEGEND

- EXISTING BOUNDARY
- PROPOSED BOUNDARY
- PROPOSED EASEMENT
- PROPOSED CONTOUR
- 65.0
- K&G
- KO
- IK
- DD
- 74.00
- Q375
- GD
- DP
- STORMWATER PIPE WITH SIZE
- STORMWATER GRATED DRAIN WITH CLASS "D" COVER
- STORMWATER DOWNPIPE AND PVC PIPE REFER HYDRAULIC ENGINEER FOR DETAILS
- GUARD RAIL
- SAFETY BARRIER
- SUBSOIL DRAINAGE (100mm Ø)
- SUBSOIL DRAINAGE (100mm Ø) CONNECTION UNDER PAVEMENT
- GRASS LINED SWALE
- KERB INLET PIT
- SURFACE INLET PIT
- JUNCTION PIT
- EXISTING STORMWATER PIPE AND PIT
- EXISTING RETAINING WALL
- EXISTING COMMUNICATIONS
- EXISTING SEWER MAIN
- EXISTING WATER MAIN
- EXISTING NBN
- EXISTING ELECTRICAL
- EXISTING GAS MAIN

Bar Scales

0 5 10 15 20

1 : 250 @ A1 1 : 500 @ A3

C	ISSUED FOR APPROVAL	12/11/21
B	ISSUED FOR APPROVAL	28/09/21
A	ISSUED FOR APPROVAL	31/05/21
P1	ISSUED FOR DRAFT	21/05/21

Issue	Description	Date
C	ISSUED FOR APPROVAL	12/11/21
B	ISSUED FOR APPROVAL	28/09/21
A	ISSUED FOR APPROVAL	31/05/21
P1	ISSUED FOR DRAFT	21/05/21

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Status

FOR APPROVAL		A1
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Scales	15-272-C7420.dwg	
1 : 250	Drawn	JC
	Designed	JC
Height Datum	AHD	Checked GB
Grid	MGA	Approved FX

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Goodman

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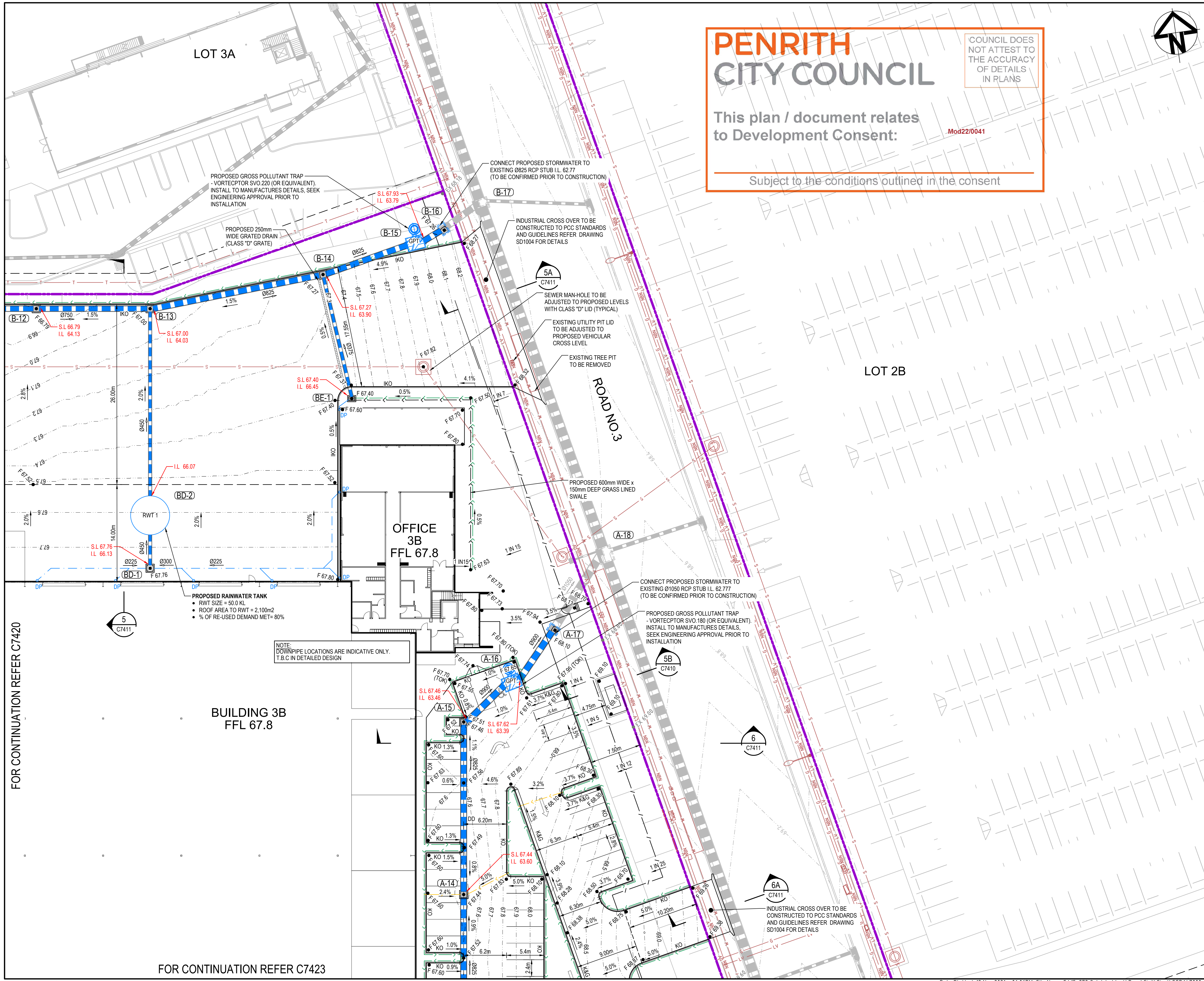
Project

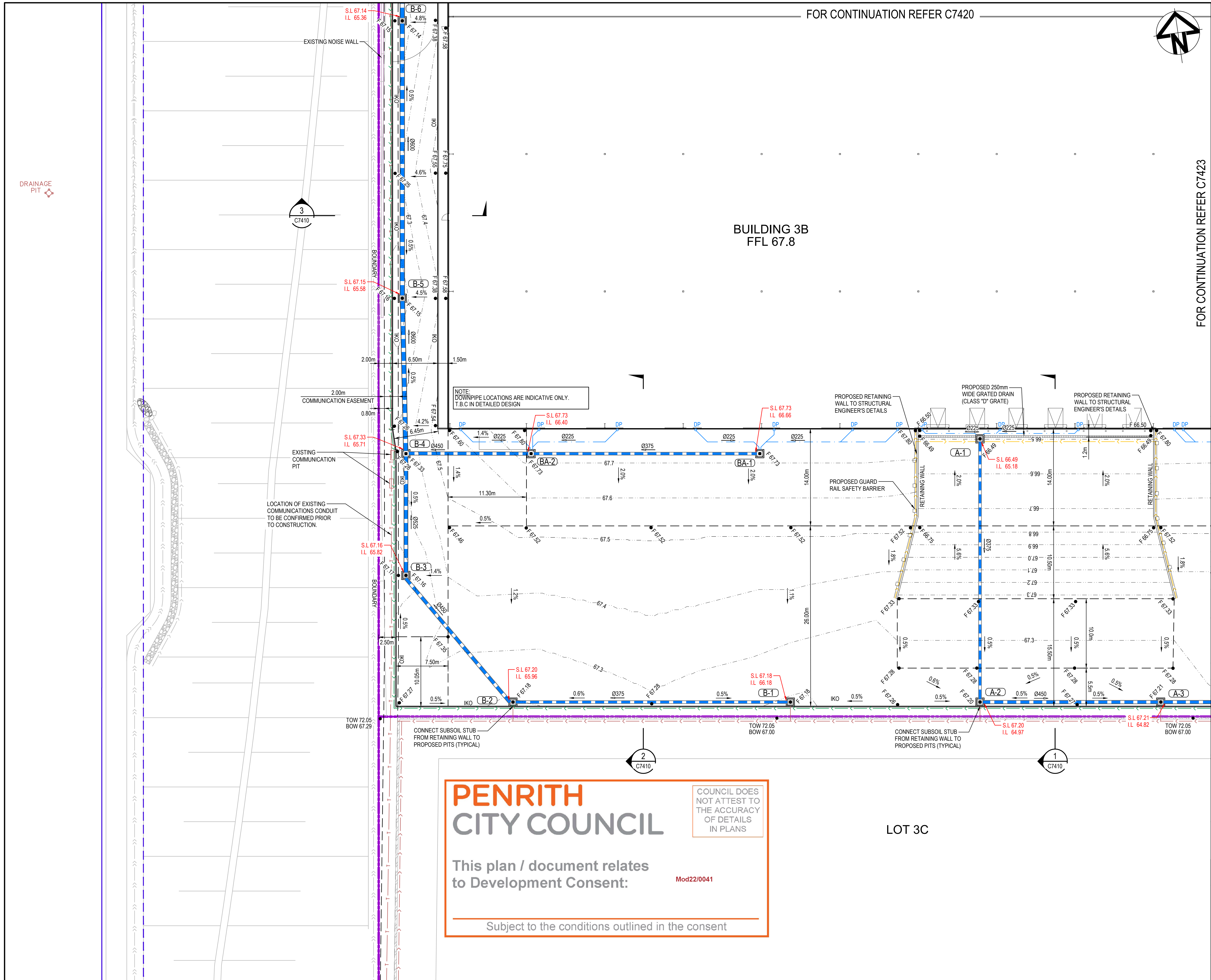
PROPOSED INDUSTRIAL DEVELOPMENT
OAKDALE WEST - LOT 3B

Title

SITEWORKS AND STORMWATER DRAINAGE PLAN
SHEET 1

Drawing No.	Project No.	Issue
15-272-C7420	15-272	C





LEGEND

- EXISTING BOUNDARY
- PROPOSED BOUNDARY
- PROPOSED EASEMENT
- PROPOSED CONTOUR
- K&G
- KO
- IK
- DD
- FINISHED SURFACE LEVEL
- STORMWATER PIPE WITH SIZE
- STORMWATER GRATED DRAIN WITH CLASS "D" COVER
- STORMWATER DOWNPIPE AND PVC PIPE REFER HYDRAULIC ENGINEER FOR DETAILS
- GUARD RAIL
- SAFETY BARRIER
- SUBSOIL DRAINAGE (100mm Ø)
- SUBSOIL DRAINAGE (100mm Ø) CONNECTION UNDER PAVEMENT
- GRASS LINED SWALE
- KERB INLET PIT
- SURFACE INLET PIT
- JUNCTION PIT
- EXISTING STORMWATER PIPE AND PIT
- EXISTING RETAINING WALL
- EXISTING COMMUNICATIONS
- EXISTING SEWER MAIN
- EXISTING WATER MAIN
- EXISTING NBN
- EXISTING ELECTRICAL
- EXISTING GAS MAIN

Bar Scales

0 5 10 15 20

1 : 250 @ A1 1 : 500 @ A3

C	ISSUED FOR APPROVAL	12/11/21
B	ISSUED FOR APPROVAL	28/09/21
A	ISSUED FOR APPROVAL	31/05/21
P1	ISSUED FOR DRAFT	21/05/21

Issue Description Date

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Status

FOR APPROVAL

NOT TO BE USED FOR CONSTRUCTION

A1

Scales

1 : 250	Drawn	JC
	Designed	JC
Height Datum	AHD	Checked GB
Grid	MGA	Approved FX

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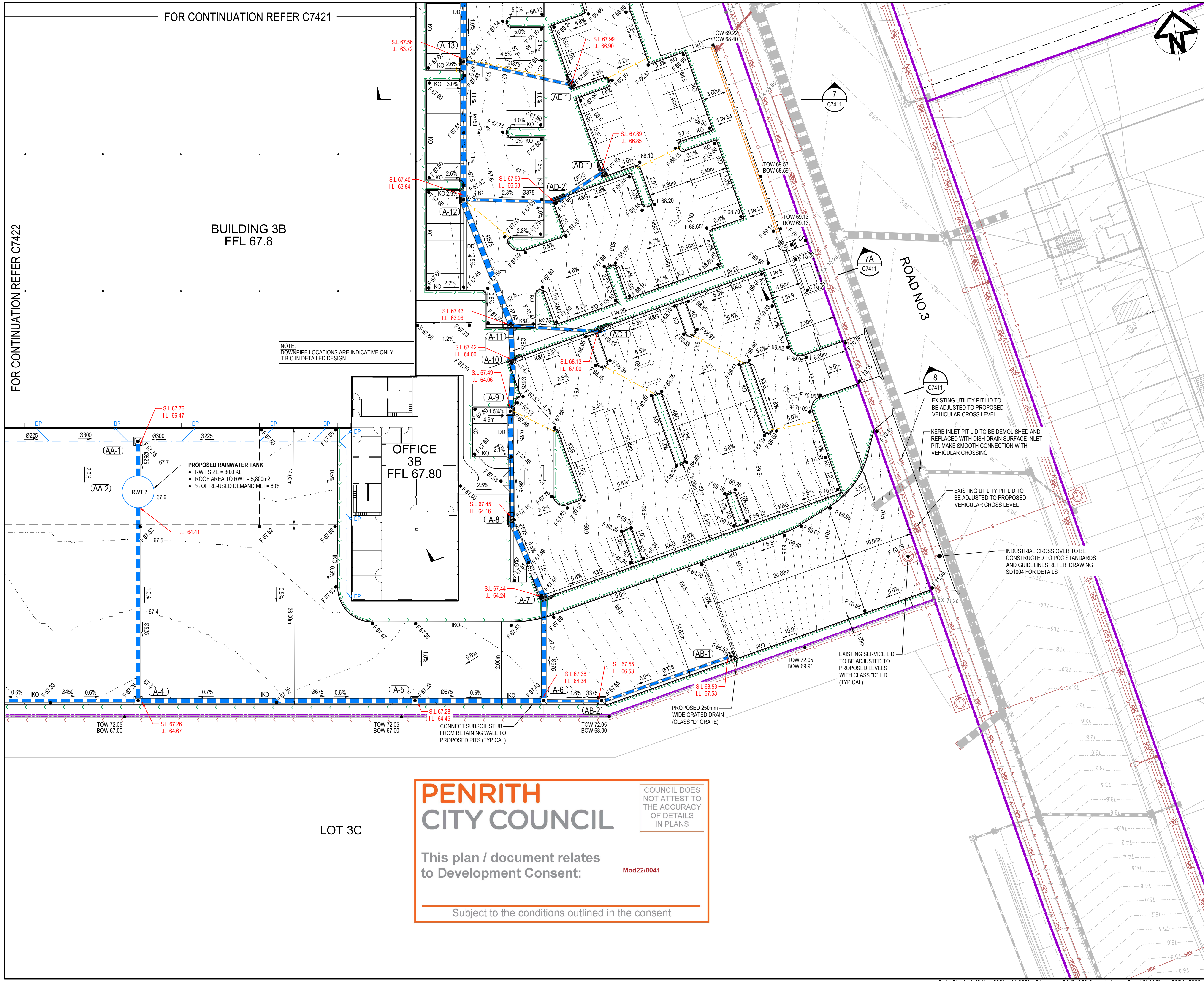
Project

PROPOSED INDUSTRIAL DEVELOPMENT
OAKDALE WEST - LOT 3B

Title

SITEWORKS AND STORMWATER DRAINAGE
PLAN
SHEET 3

Drawing No.	Project No.	Issue
15-272-C7422	15-272	C



LEGEND

- EXISTING BOUNDARY
- PROPOSED BOUNDARY
- PROPOSED EASEMENT
- PROPOSED CONTOUR
- 65.0
- K&G
- KO
- IK
- DD
- 74.00
- Q375
- STORMWATER PIPE WITH SIZE
- GD
- STORMWATER DOWNPIPE AND PVC PIPE REFER HYDRAULIC ENGINEER FOR DETAILS
- GUARD RAIL
- SAFETY BARRIER
- SUBSOIL DRAINAGE (100mm Ø)
- SUBSOIL DRAINAGE (100mm Ø) CONNECTION UNDER PAVEMENT
- GRASS LINED SWALE
- KERB INLET PIT
- SURFACE INLET PIT
- JUNCTION PIT
- EXISTING STORMWATER PIPE AND PIT
- EXISTING RETAINING WALL
- T
- S
- V
- NBN
- LV/HV
- G
- EXISTING COMMUNICATIONS
- EXISTING SEWER MAIN
- EXISTING WATER MAIN
- EXISTING NBN
- EXISTING ELECTRICAL
- EXISTING GAS MAIN

Bar Scales

0 5 10 15 20

1 : 250 @ A1 1 : 500 @ A3

C	ISSUED FOR APPROVAL	12/11/21
B	ISSUED FOR APPROVAL	28/09/21
A	ISSUED FOR APPROVAL	31/05/21
P1	ISSUED FOR DRAFT	21/05/21

Issue	Description	Date
C	ISSUED FOR APPROVAL	12/11/21
B	ISSUED FOR APPROVAL	28/09/21
A	ISSUED FOR APPROVAL	31/05/21
P1	ISSUED FOR DRAFT	21/05/21

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Status	FOR APPROVAL	A1
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Scales	1 : 250	15-272-C7423.dwg
	Drawn	JC
	Designed	JC

Height Datum	AHD	Checked	GB
Grid	MGA	Approved	FX

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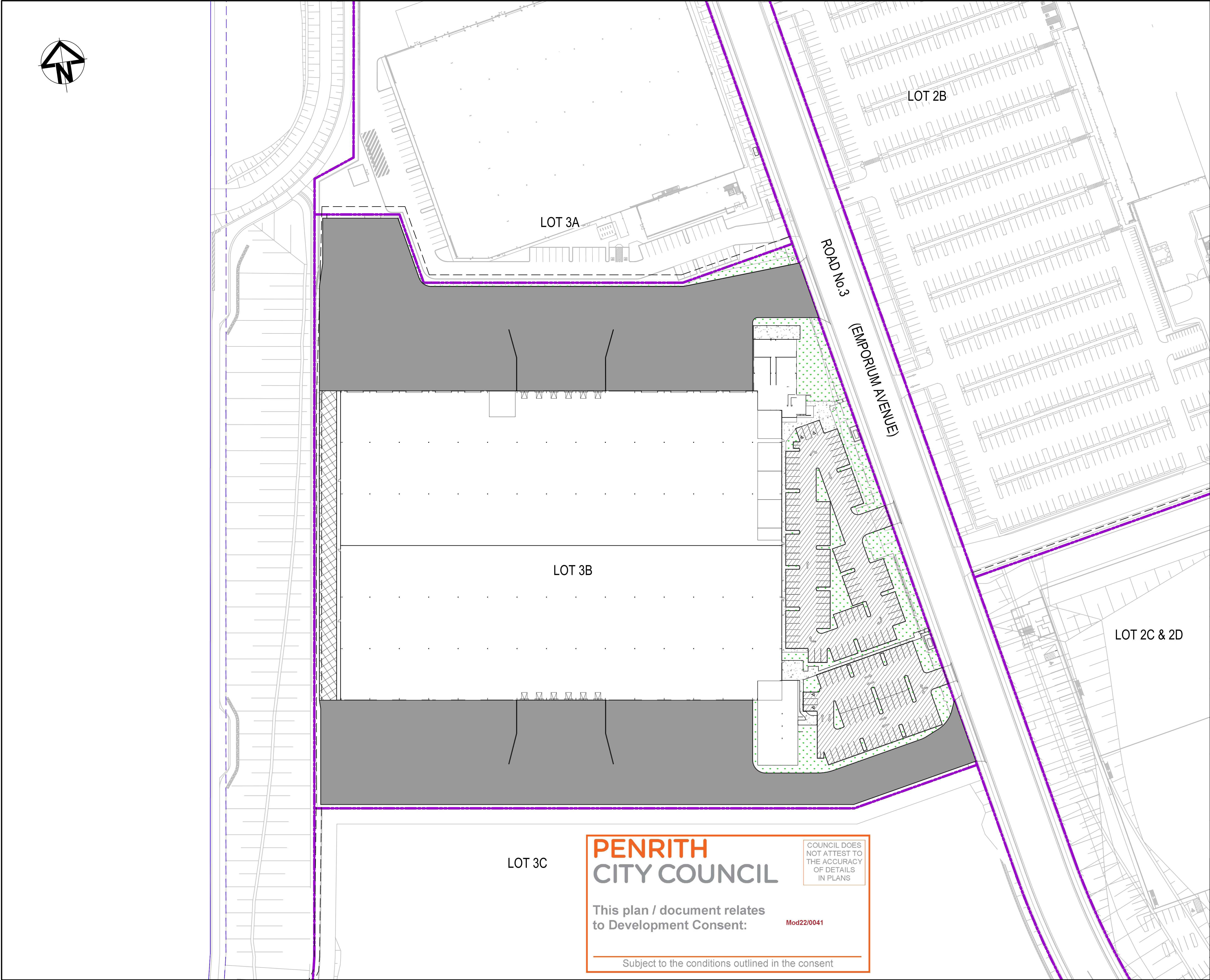
Project

PROPOSED INDUSTRIAL DEVELOPMENT
OAKDALE WEST - LOT 3B

Title

SITEWORKS AND STORMWATER DRAINAGE
PLAN
SHEET 4

Drawing No.	Project No.	Issue
15-272-C7423	15-272	C



LEGEND

HEAVY DUTY RIGID PAVEMENT

ASPHALT PAVEMENT
CARPARK AISLES

LANDSCAPE

FOOTPATH

FIRE ACCESS TRACK

NOTE: PAVEMENT THICKNESS SUBJECT TO DETAILED DESIGN

Bar Scales

Issue	Description	Date
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Status		A1

Scales		Drawn	
		Designed	
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Grid		Approved	

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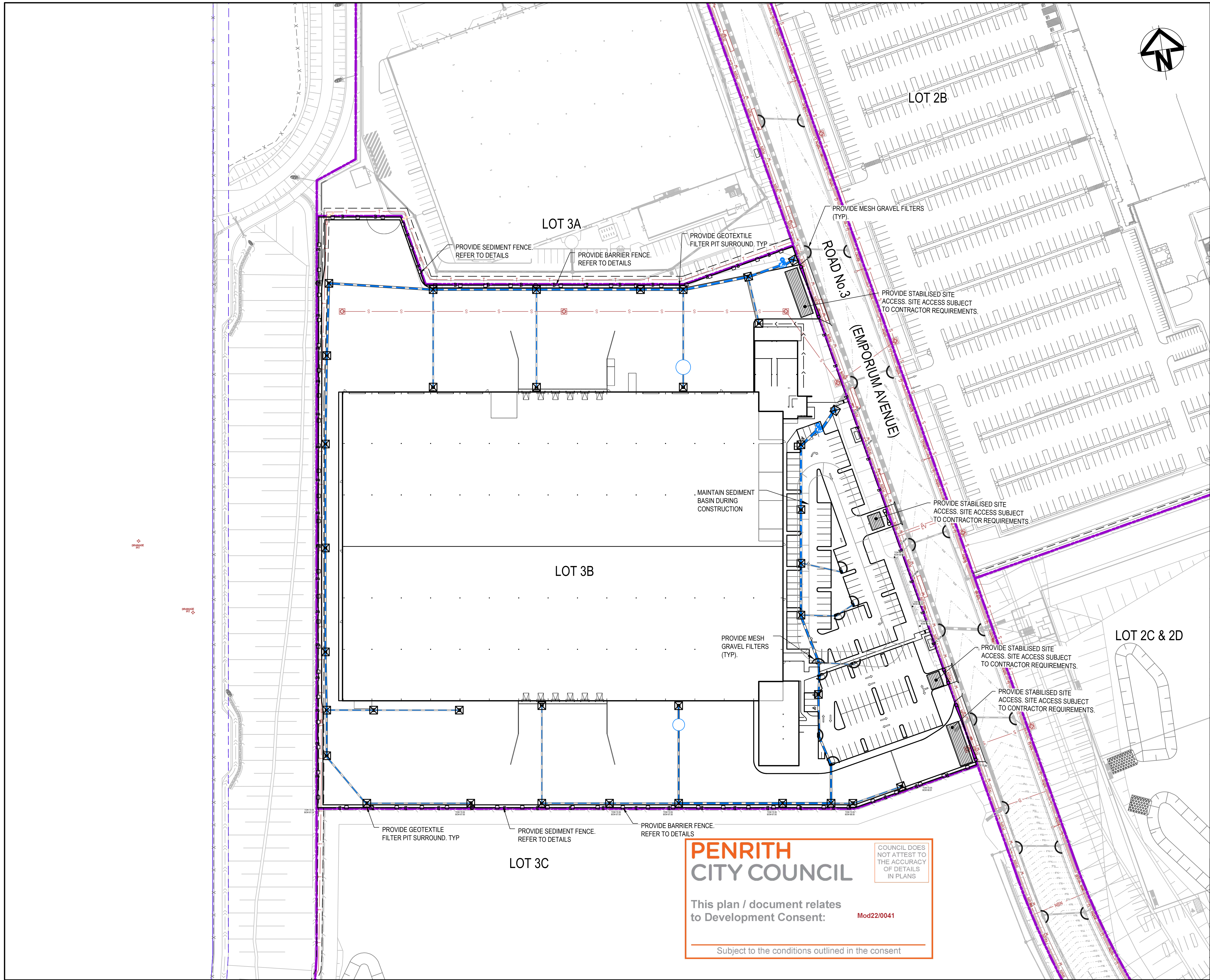
Project		
PROPOSED INDUSTRIAL DEVELOPMENT OAKDALE WEST - LOT 3B		
Title		
Drawing No.	Project No.	Issue

PENRITH
CITY COUNCIL

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This plan / document relates to Development Consent: Mod22/0041

Subject to the conditions outlined in the consent



LEGEND

SEDIMENT FENCE (SD 6-8)

CATCH DRAIN

BARRIER FENCE

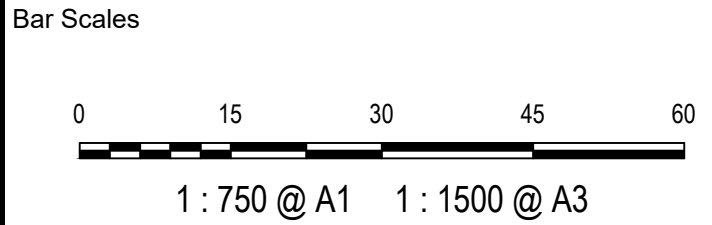
STRAW BALE FILTER (SD 6-7)

MESH AND GRAVEL INLET FILTER (SD 6-11)

GEOTEXTILE INLET (SD 6-12)

STABILISED SITE ACCESS AND TRUCK WASH DOWN AREA (SD 6-14)

PROPOSED SITE ACCESS GATE



C	ISSUED FOR APPROVAL	12/11/21
B	ISSUED FOR APPROVAL	28/09/21
A	ISSUED FOR APPROVAL	31/05/21
P1	ISSUED FOR DRAFT	21/05/21

Issue	Description	Date
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Status	FOR APPROVAL	A1
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Scales	15-272-C7440.dwg	
	Drawn	JC
	Designed	JC
Height Datum	AHD	Checked GB
Grid	MGA	Approved FX

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Project

PROPOSED INDUSTRIAL DEVELOPMENT
OAKDALE WEST - LOT 3B

Title

EROSION AND SEDIMENT CONTROL PLAN

Drawing No.	Project No.	Issue
15-272-C7440	15-272	C

PENRITH CITY COUNCIL

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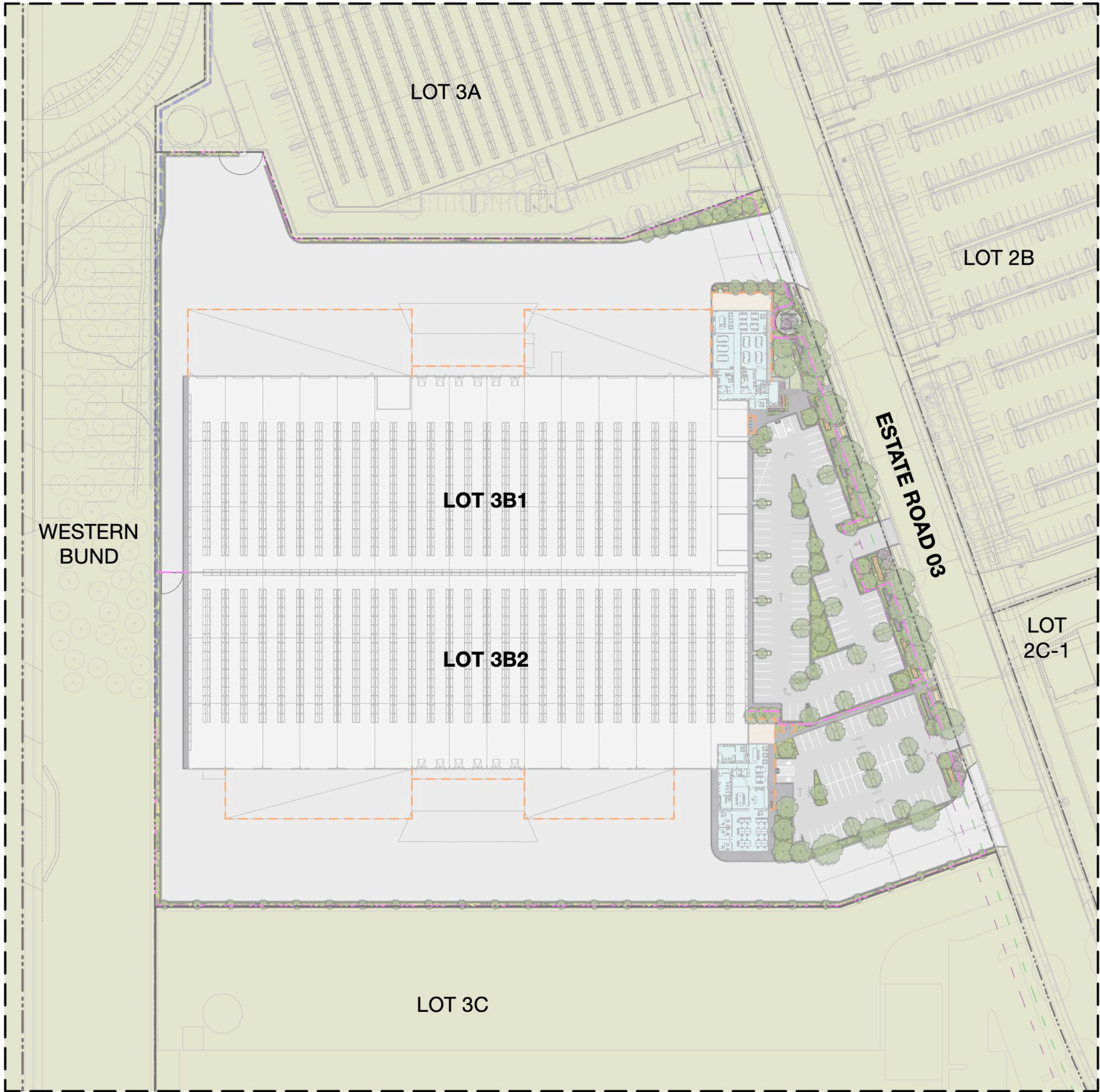
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Date Plotted: 12 Nov 2021 - 05:47PM File Name: F:\15-272 Oakdale West\Drugs\Civil\Final\SSDA\7000_On-Lot Works Packages\7400_LOT 3B\15-272-C7441.dwg V1

KEY MAP



LANDSCAPE ARCHITECTURE
Address Suite 5, 15 The Corso
Manly NSW 2095
Phone 02 9976 0756
email office@scapedesign.com.au
Web www.scapedesign.com.au

PROJECT

Oakdale West Estate
Stage 5 - Lot 3B

Kemps Creek, NSW

CLIENT

Goodman Property Services (AUST) PTY LTD

Cover Sheet

PHASE

Development Application
Landscape Drawing Set

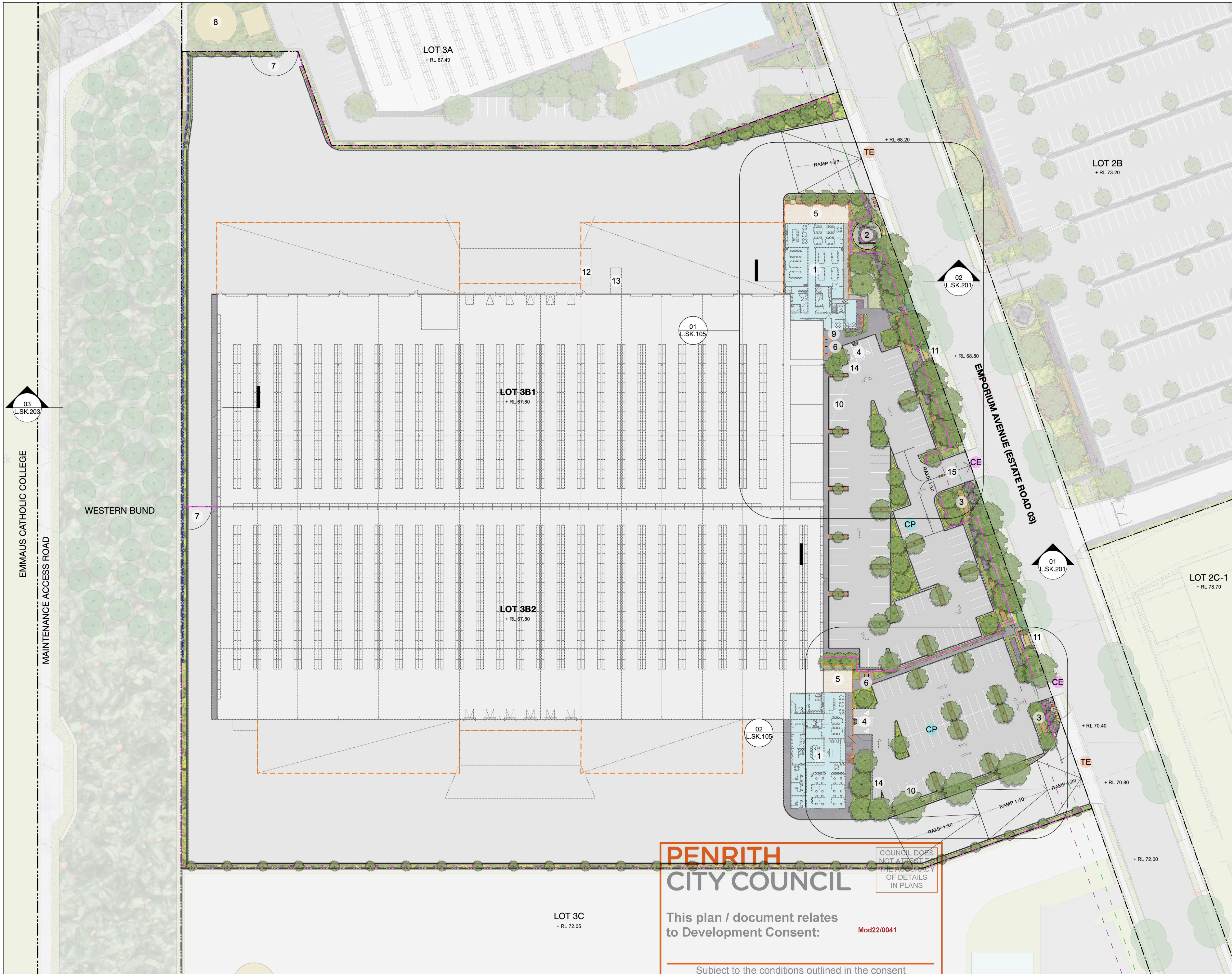
TRANSMITTAL

Dwg. Number	Dwg. Name	Revision	Date
L.SK.00	Cover Sheet	G	10/11/21
L.SK.01	Landscape Sketch Plan - Lot 3B	G	10/11/21
L.SK.02	Planting Plan - Lot 3B	G	10/11/21
L.SK.03	Planting Schedule - Lot 3B	G	10/11/21
L.SK.04	Character & Materials	E	13/9/21
L.SK.105	Landscape - Detailed Plan & Notes	G	10/11/21
L.SK.200	Carpark Details	F	10/11/21
L.SK.201	Landscape Sections Sheet 1	E	13/9/21
L.SK.202	Landscape Sections Sheet 2	E	13/9/21
L.SK.203	Landscape Sections Sheet 3	B	14/9/21

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Stage 5 DA - Lot 3B

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Verify services locations prior to commencement.
Verify all dimensions on site prior to construction.



LEGEND		
PROGRAMME		PAVEMENTS
1	Office	Coarse Aggregate
2	Entry Marker	Asphaltic Concrete
3	Entry Feature Trees	Decomposed Granite
4	Accessible Parking	Insitu Concrete
5	Staff Rest Area	Precast Concrete
6	Covered bike shelter	Stone Tiles
7	Brigade Accessible Gate	Feature paving
8	Fire Services	Rock Swale
9	Mechanical Plant Area	Pram Ramp
10	3 x EV Charging Stations with provision of 3 additional stations in the future	
11	Substation Kiosk	
12	Gas Storage Area	
13	Waste Storage Area	
14	Motorcycle parking	
15	Secured gate & intercom	
CE	Car entry/exit	
CP	Carparking	
TE	Truck entry/exit	
GENERAL		FURNITURE & FITTINGS
Site Boundary		Proposed Table Setting
Lot Boundary		Proposed Bicycle Rack
Finished Floor Level		Proposed Street Lighting
Reduced Level		Proposed Sleeper Mullion
Architecture Above		Proposed Sandstone Block
Chain Mesh Fence Refer Arch. dwgs.		Gate
Palisade Fence Refer Arch. dwgs.		Signage
Building Setback		Proposed Seating
Landscape Setback		Proposed Pergola
Proposed Ramp		
PREPARATION & GROUNDWORKS		PLANTING
Proposed Stairs		TF1-General Turf
Building		TF2-Feature Turf
Amenities Lot		PM1A-Car park edge mix-sun
Services		PM1B-Car park edge mix-shade
		PM2A-Car park island mix-sun
		PM2B-Car park island mix-shade
		PM3A-Site edge mix - sun
		PM3B-Site edge mix - shade
		PM4-Site markers mix
		PM5A-Feature planting mix-sun
		PM6A-Site hedge mix-sun
		PM7A-Groundcover mix A
		PM7B-groundcover mix B
		PM9A-Climbers mix
		PM11-Native grasses mix
		Stage 1 Landscape Works
WALLS & EDGES		TREES
Existing Retaining Wall		Existing Tree to be Retained
Steel Edge		Existing Tree to be Removed Refer ARBORISTS REPORT
Flush Concrete Kerb		Stage 1 Works - Proposed Tree
Raised Concrete Kerb		Proposed Tree - General
Retaining Gabion Wall		Proposed Tree - Entry Marker
Retaining Insitu Wall		Proposed Tree - Site Marker
Steel Wall		
Noise Wall		

LANDSCAPE ARCHITECTURE

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Marilyn NSW 2095

Phone 02 9976 0756

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Web www.sapedesign.com.au

PROJECT

Oakdale West Estate

CLIENT

Goodman Property Services

Draft

Not For Construction

G	FOR COORDINATION	ZZ	10/11/21
F	FOR COORDINATION	ZZ	14/9/21
E	FOR COORDINATION	ZZ	13/9/21
D	FOR COORDINATION	ND	6/9/21
C	DEVELOPMENT APPLICATION	ZZ	23/6/21
revision	revision description	by	date

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Verify all dimensions on site prior to construction.

LANDSCAPE SKETCH PLAN - Lot 3B

scale 1:500@A1

drawn ZZ

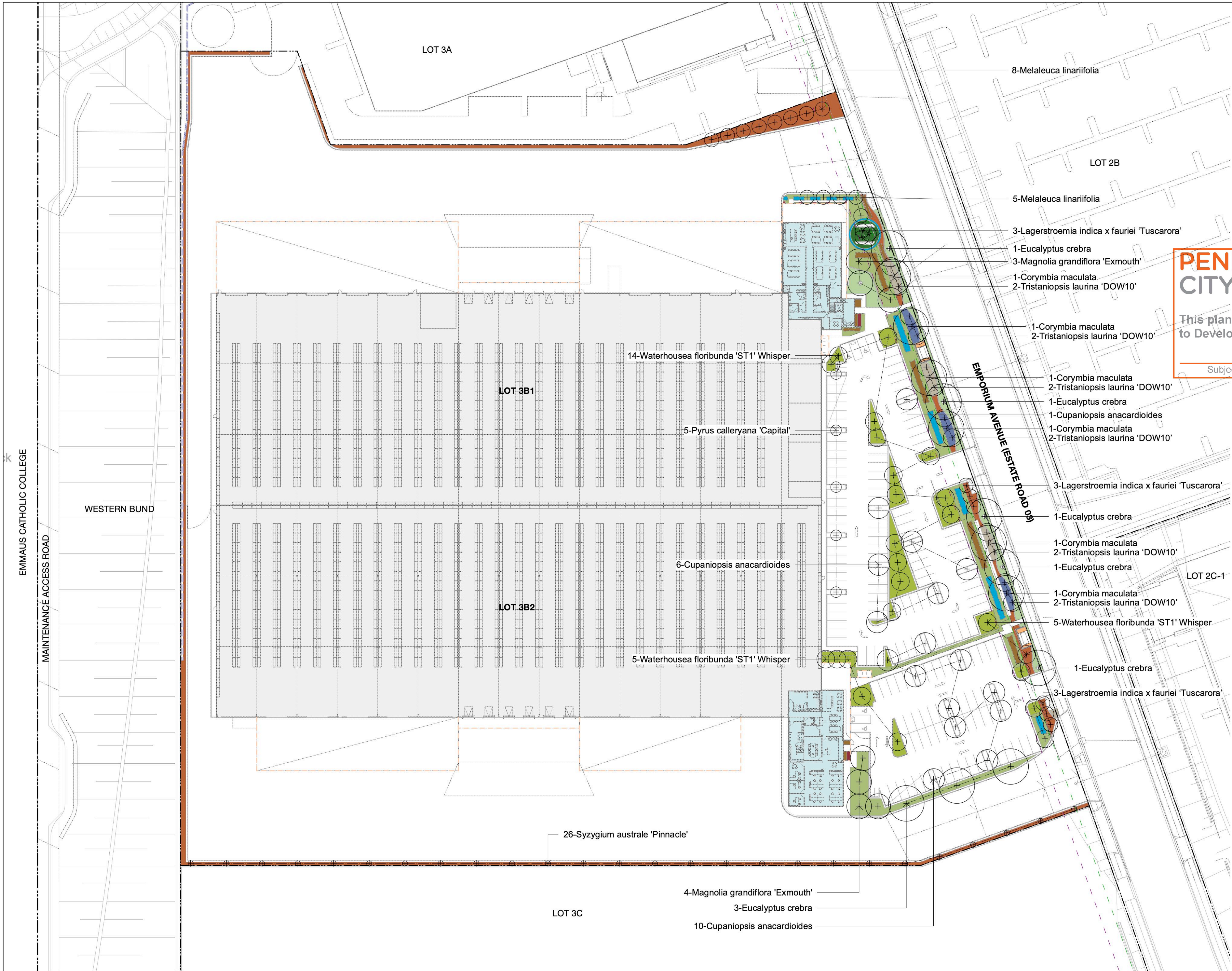
checked CH

project no. 163-18

project phase Development Application

L.SK.01

G



LEGEND

PLANTING

TF1-General Turf

TF2-Feature Turf

PM1A-Car park edge mix-sun

PM1B-Car park edge mix-shade

PM2A-Car park island mix-sun

PM3A-Site edge mix low - sun

PM5A-Feature planting mix

PM6A-Site hedge mix - sun

PM7A-Groundcover mix A

PM7B-Groundcover mix B

PM9A-Climbers mix

PM11-Native grasses mix

Proposed tree/specimen plant

PENRITH

CITY COUNCIL

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Mod22/0041

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scape DESIGN

LANDSCAPE ARCHITECTURE

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Marilyn NSW 2095

Phone 02 9976 0756

email office@sapedesign.com.au

Web www.sapedesign.com.au

PROJECT

Oakdale West Estate

CLIENT

Goodman Property Services

Draft

Not For Construction

G FOR COORDINATION ZZ 10/11/21

F FOR COORDINATION ZZ 14/9/21

E FOR COORDINATION ZZ 13/9/21

D FOR COORDINATION ND 6/9/21

C DEVELOPMENT APPLICATION ZZ 23/6/21

revision revision description by date

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Verify all dimensions on site prior to construction.

Planting Plan - Lot 3B

scale 1:500@A1

drawn ZZ

checked CH

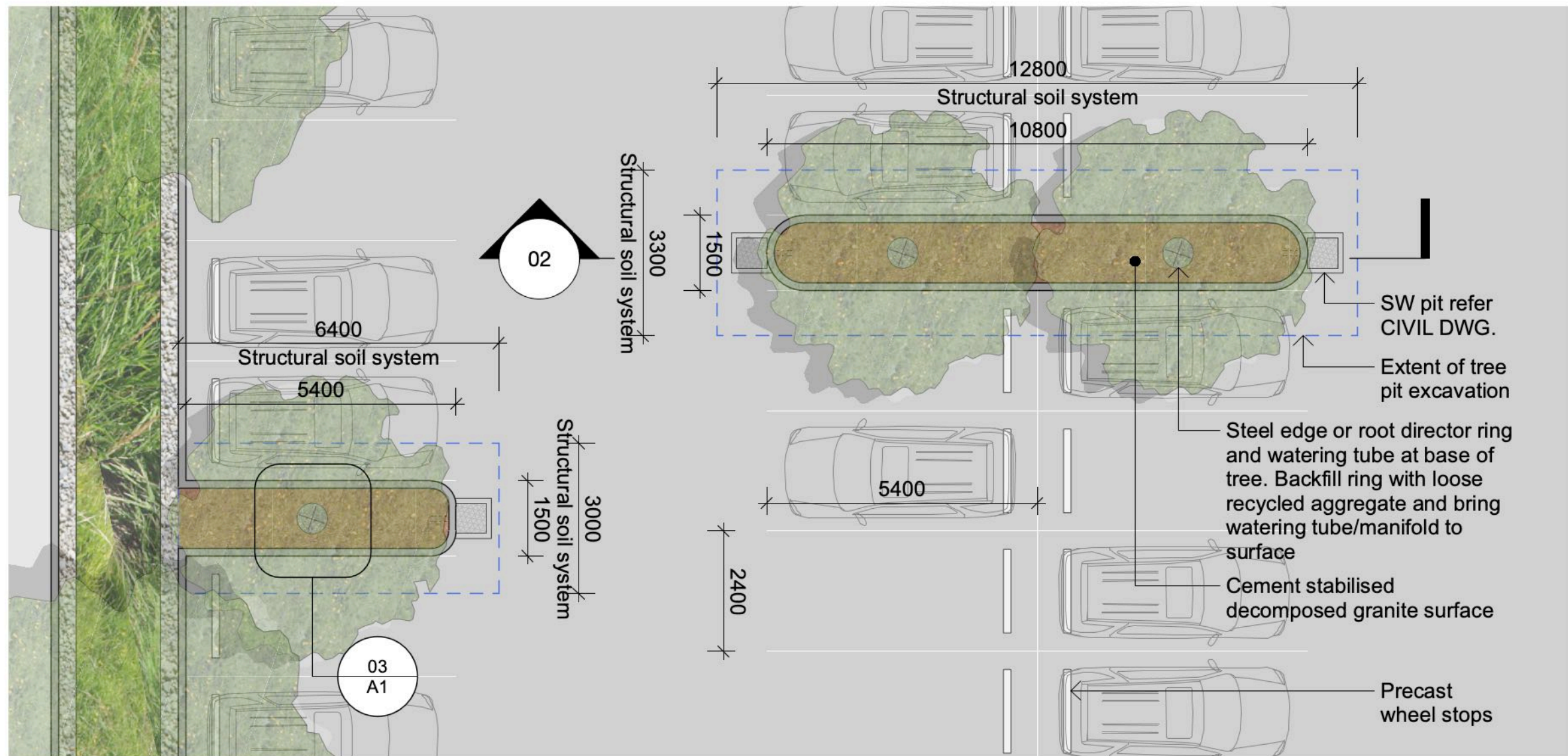
project no. 163-18

project phase Development Application

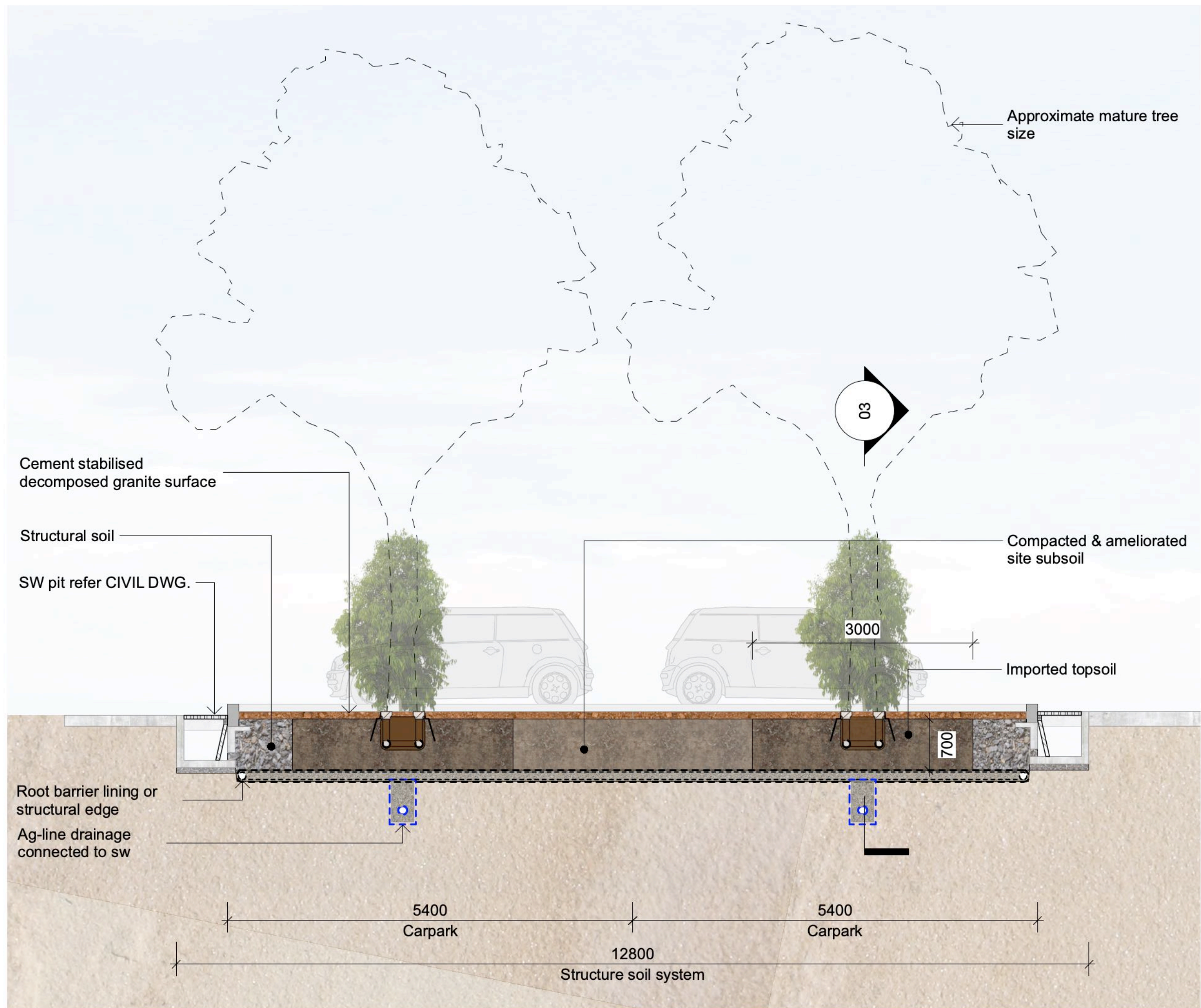
L.SK.02

G

Note: All finished levels subject to change +/- 1000mm.



01 Carpark Tree Pit System
Detailed Plan - Scale 1:100 @ A1



02 Carpark Tree Pit System
Detailed Section - Scale 1:50 @ A1

Note: All finished levels subject to change +/- 1000mm.

MATERIALS SCHEDULE

Description	Volume
SOIL STRUCTURE SYSTEM	
Type 1 - Soil Structure System 3000x6400mm <i>Paving-Soil Structure System Type 1</i>	307.2 m3
Type 3 - Soil Structure System 3300x12800mm <i>Paving-Soil Structure System Type 3</i>	42.2 m3
Type 4 - Soil Structure System Triangle Islands <i>Paving-Soil Structure System Type 4</i>	182.3 m3
Total Volume	531.7 m3

NOTES:

Full width of excavated tree pit (3000-3300 W x 6000-12800 W x 1000 D) to be back filled with imported topsoil, ameliorated site soil and structural soil. Provide a minimum of 15m3 of topsoil per tree in car park island beds.

PENRITH
CITY COUNCIL

COUNCIL DOES
NOT ATTEST TO
THE ACCURACY
OF DETAILS
IN PLANS

This plan / document relates
to Development Consent:

Mod22/0041

Subject to the conditions outlined in the consent

Root Director

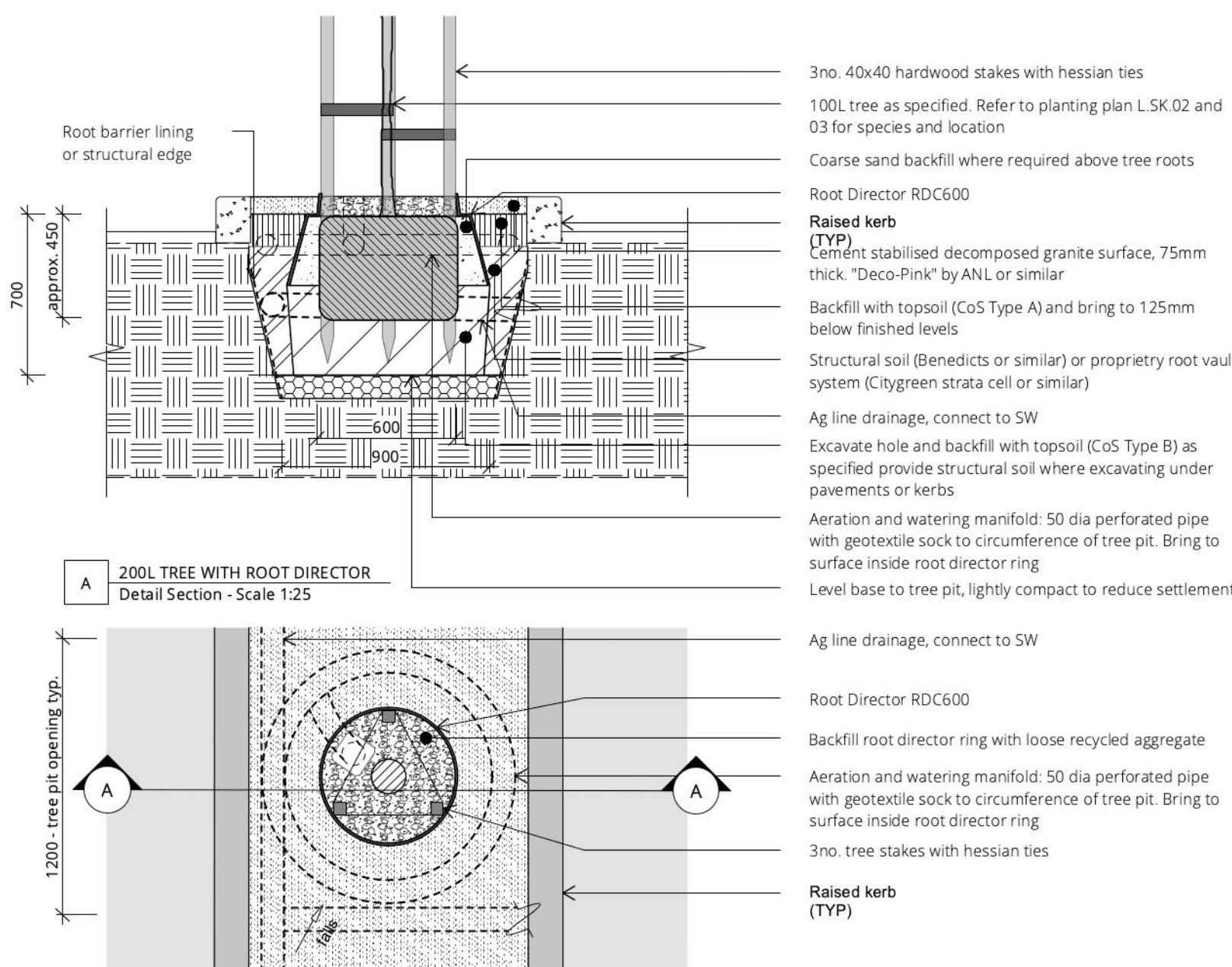


Notes:

1. Supplier (Root Director): City Green.
Ph: +61 1300 066 949
<https://citygreen.com/products/rootdirector-c-series/>

Supplier (Decomposed Granite "Pink"):
ANL
Ph: 02 9450 1444
<https://anlscapes.com.au/landscaping/gravel-and-pebbles-for-paths-and-driveways/deco-granite-pink-gravel/>

2. Refer specification for selections



D-CD TREE PLANTING - 100L TREE WITH ROOT DIRECTOR

08-02-21 Section | Plan - Scale 1:25 @ A1

03 Carpark Island Tree
Detail - Scale 1:25 @ A1

LEGEND

GENERAL

Structure Below

PAVEMENTS

Concrete Insitu Vehicular
Coarse Aggregate
Structural Soil
Decomposed granite

WALLS & EDGES

Raised Concrete Kerb

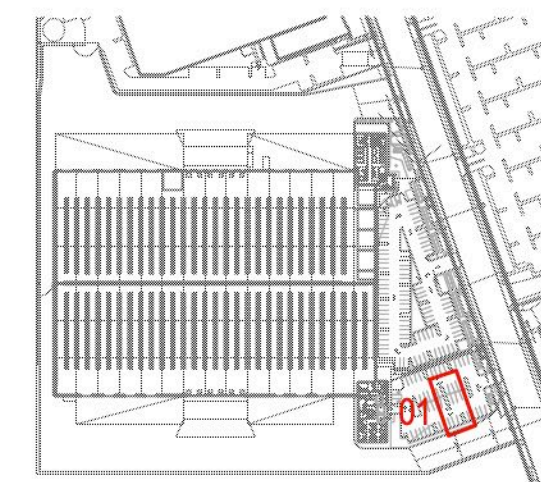
FURNITURE & FITTINGS

Precast Wheel Stop

TREES

Proposed Tree - General

KEY PLAN



scape DESIGN

LANDSCAPE ARCHITECTURE
Address Suite 5, 15 The Corso
Marilyn NSW 2095
Phone 02 9976 0756
Email office@sapedesign.com.au
Web www.sapedesign.com.au

PROJECT
Oakdale West Estate

Kemps Creek, NSW

CLIENT
Goodman Property Services

Draft
Not For Construction

F	FOR COORDINATION	ZZ	10/11/21
E	FOR COORDINATION	ZZ	13/9/21
D	FOR COORDINATION	ND	6/9/21
C	DEVELOPMENT APPLICATION	ZZ	23/6/21
B	FOR COORDINATION	ZZ	3/6/21

revision revision description
by date
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Do not scale from this drawing.
Refer to 'Dial Before You Dig' documents, design drawings and survey for locations of all services.
Verify service locations prior to commencement.
Verify all dimensions on site prior to construction.

Carpark Details

scale 1:100 & 1:50@A1
drawn ZZ
checked CH
project no. 163-18
project phase Development Application

L.SK.200

F